



**APPLICATIONS:**

**DEPARTMENT OF CITY PLANNING APPLICATION**

*THIS BOX FOR CITY PLANNING STAFF USE ONLY*

Case Number \_\_\_\_\_

Env. Case Number \_\_\_\_\_

Application Type \_\_\_\_\_

Case Filed With (Print Name) \_\_\_\_\_ Date Filed \_\_\_\_\_

Application includes letter requesting:

- Waived hearing       Concurrent hearing       Hearing not be scheduled on a specific date (e.g. vacation hold)
- Related Case Number \_\_\_\_\_

**Provide all information requested. Missing, incomplete or inconsistent information will cause delays.**  
*All terms in this document are applicable to the singular as well as the plural forms of such terms.  
 Detailed filing instructions are found on form CP-7810*

**1. PROJECT LOCATION**

Street Address<sup>1</sup> 836-844 W 42nd Pl Unit/Space Number \_\_\_\_\_

Legal Description<sup>2</sup> (Lot, Block, Tract) Lot 47,48 Block None Tract Re-Plat of John Rey's Subdivision

Assessor Parcel Number 5019006016, 5019006018 Total Lot Area 13,370

**2. PROJECT DESCRIPTION**

Present Use Residential - double duplex

Proposed Use Residential - multi-family apartment with 31 units

Project Name (if applicable) \_\_\_\_\_

Describe in detail the characteristics, scope and/or operation of the proposed project New 31 Unit 5 story Apartment Building over Type 1A garage. Requesting a height increase of 11ft in total of 56ft and a side yard reduction from 8ft to 7ft.

Additional information attached       YES       NO

Complete and check all that apply:

**Existing Site Conditions**

- |   |  |
|---|--|
| <input type="checkbox"/> Site is undeveloped or unimproved (i.e. vacant)  | <input type="checkbox"/> Site is located within 500 feet of a freeway or railroad                          |
| <input checked="" type="checkbox"/> Site has existing buildings (provide copies of building permits)  | <input checked="" type="checkbox"/> Site is located within 500 feet of a sensitive use (e.g. school, park) |
| <input type="checkbox"/> Site is/was developed with use that could release hazardous materials on soil and/or groundwater (e.g. dry cleaning, gas station, auto repair, industrial) | <input type="checkbox"/> Site has special designation (e.g. National Historic Register, Survey LA)         |

<sup>1</sup> Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—<http://zimas.lacity.org>)

<sup>2</sup> Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)

**Proposed Project Information**

(Check all that apply or could apply)

- Demolition of existing buildings/structures
- Relocation of existing buildings/structures
- Interior tenant improvement
- Additions to existing buildings
- Grading
- Removal of any on-site tree
- Removal of any street tree

- Removal of protected trees on site or in the public right of way
- New construction: \_\_\_\_\_square feet
- Accessory use (fence, sign, wireless, carport, etc.)
- Exterior renovation or alteration
- Change of use and/or hours of operation
- Haul Route
- Uses or structures in public right-of-way
- Phased project

**Housing Component Information**

Number of Residential Units: Existing \_\_\_\_\_ - Demolish(ed)<sup>3</sup> \_\_\_\_\_ + Adding \_\_\_\_\_ = Total \_\_\_\_\_

Number of Affordable Units<sup>4</sup> Existing \_\_\_\_\_ - Demolish(ed) \_\_\_\_\_ + Adding \_\_\_\_\_ = Total \_\_\_\_\_

Number of Market Rate Units Existing \_\_\_\_\_ - Demolish(ed) \_\_\_\_\_ + Adding \_\_\_\_\_ = Total \_\_\_\_\_

Mixed Use Projects, Amount of Non-Residential Floor Area: \_\_\_\_\_square feet

**Public Right-of-Way Information**

Have you submitted the Planning Case Referral Form to BOE? (required)  YES  NO

Is your project required to dedicate land to the public right-of-way?  YES  NO

If so, what is/are your dedication requirement(s)? \_\_\_\_\_ ft.

If you have dedication requirements on multiple streets, please indicate: \_\_\_\_\_

**3. ACTION(S) REQUESTED**

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request and (if applicable) the LAMC Section or the Specific Plan/Overlay Section from which relief is sought; follow with a description of the requested action.

Does the project include Multiple Approval Requests per LAMC 12.36?  YES  NO

**Authorizing Code Section** \_\_\_\_\_

**Code Section from which relief is requested (if any):** \_\_\_\_\_

**Action Requested, Narrative:** \_\_\_\_\_

**Authorizing Code Section** \_\_\_\_\_

**Code Section from which relief is requested (if any):** \_\_\_\_\_

**Action Requested, Narrative:** \_\_\_\_\_

Additional Requests Attached  YES  NO

<sup>3</sup> Number of units to be demolished and/or which have been demolished within the last five (5) years.

<sup>4</sup> As determined by the Housing and Community Investment Department

**4. RELATED DEPARTMENT OF CITY PLANNING CASES**

Are there previous or pending cases/decisions/environmental clearances on the project site?  YES  NO

If YES, list all case number(s) \_\_\_\_\_

If the application/project is directly related to one of the above cases, list the pertinent case numbers below and complete/check all that apply (provide copy).

- |   |  |
|---|--|
| Case No. _____  | Ordinance No.: _____   |
| <input type="checkbox"/> Condition compliance review                        | <input type="checkbox"/> Clarification of Q (Qualified) classification               |
| <input type="checkbox"/> Modification of conditions                         | <input type="checkbox"/> Clarification of D (Development Limitations) classification |
| <input type="checkbox"/> Revision of approved plans                         | <input type="checkbox"/> Amendment to T (Tentative) classification                   |
| <input type="checkbox"/> Renewal of entitlement                             |  |
| <input type="checkbox"/> Plan Approval subsequent to Master Conditional Use |  |

For purposes of environmental (CEQA) analysis, is there intent to develop a larger project?  YES  NO

Have you filed, or is there intent to file, a Subdivision with this project?  YES  NO

If YES, to either of the above, describe the other parts of the projects or the larger project below, whether or not currently filed with the City:

**5. RELATED DOCUMENTS / REFERRALS**

To help assigned staff coordinate with other Departments that may have a role in the proposed project, please provide a copy of any applicable form and reference number if known.

- a. Specialized Requirement Form \_\_\_\_\_
- b. Geographic Project Planning Referral \_\_\_\_\_
- c. Citywide Design Guidelines Compliance Review Form CP 4056
- d. Affordable Housing Referral Form PAR-2020-10-TOC
- e. Mello Form \_\_\_\_\_
- f. Unpermitted Dwelling Unit (UDU) Inter-Agency Referral Form \_\_\_\_\_
- g. HPOZ Authorization Form \_\_\_\_\_
- h. Management Team Authorization \_\_\_\_\_
- i. Expedite Fee Agreement \_\_\_\_\_
- j. Department of Transportation (DOT) Referral Form \_\_\_\_\_
- k. Preliminary Zoning Assessment Referral Form \_\_\_\_\_
- l. SB330 Preliminary Application yes
- m. Bureau of Engineering (BOE) Planning Case Referral Form (PCRF) 201900704
- n. Order to Comply \_\_\_\_\_
- o. Building Permits and Certificates of Occupancy yes
- p. Hillside Referral Form (BOE) \_\_\_\_\_
- q. Low Impact Development (LID) Referral Form (Storm water Mitigation) 477
- r. SB330 Determination Letter from Housing and Community Investment Department \_\_\_\_\_
- s. Are there any recorded Covenants, affidavits or easements on this property?  YES (provide copy)  NO

**PROJECT TEAM INFORMATION** (Complete all applicable fields)

**Applicant<sup>5</sup> name** Philip Cohen  
Company/Firm 836 West 42nd Place Associates, LLC  
Address: 836 W. 42nd Place Unit/Space Number \_\_\_\_\_  
City Los Angeles State CA Zip Code: 90037  
Telephone \_\_\_\_\_ E-mail: \_\_\_\_\_  
Are you in escrow to purchase the subject property?  YES  NO

**Property Owner of Record**  Same as applicant  Different from applicant  
Name (if different from applicant) \_\_\_\_\_  
Address \_\_\_\_\_ Unit/Space Number \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Telephone \_\_\_\_\_ E-mail: \_\_\_\_\_

**Agent/Representative name** Danielle Hayman  
Company/Firm Hayman Development LLC  
Address: 12650 Riverside Dr Unit/Space Number 100  
City Studio City State CA Zip: 91607  
Telephone (818) 943-0080 E-mail: danielle@haymanllc.com

**Other** (Specify Architect, Engineer, CEQA Consultant etc.) Architect  
Name John Friedman  
Company/Firm Ketter Designs  
Address: 12650 Riverside Dr Unit/Space Number 100  
City Studio City State CA Zip Code: 91607  
Telephone \_\_\_\_\_ E-mail: johnf@thekettergroup.com

**Primary Contact for Project Information**  Owner  Applicant  
(*select only one*)  Agent/Representative  Other

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List, and the Abutting Property Owners List.

<sup>5</sup> An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e. usually not the agent/representative).

**PROPERTY OWNER**

7. **PROPERTY OWNER AFFIDAVIT.** Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts the agent for service of process or an officer of the ownership entity so authorized may sign as stipulated below.

- **Ownership Disclosure.** If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying the agent for service or process or an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
- **Letter of Authorization (LOA).** A LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
- **Grant Deed.** Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
- **Multiple Owners.** If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.

- a. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
- b. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
- c. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
- d. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

*Property Owner's signatures must be signed/notarized in the presence of a Notary Public.  
The City requires an original signature from the property owner with the "wet" notary stamp.  
A Notary Acknowledgement is available for your convenience on following page.*

Signature Philip Cohen

Date 2/27/20

Print Name Philip Cohen

Signature \_\_\_\_\_

Date \_\_\_\_\_

Print Name \_\_\_\_\_

Space Below For Notary's Use

California All-Purpose Acknowledgement

Civil Code ' 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On February 27, 2020 before me, Alexis Esther Malka, Notary Public  
(Insert Name of Notary Public and Title)

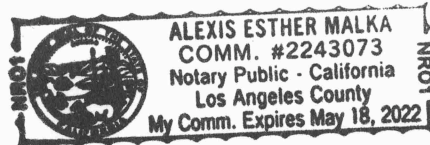
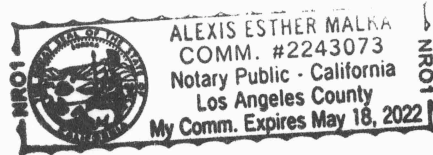
personally appeared Philip Cohen, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) (is) are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

[Signature]  
Signature

(Seal)



**APPLICANT**

8. **APPLICANT DECLARATION.** A separate signature from the applicant, whether they are the property owner or not, attesting to the following, is required before the application can be accepted.
- a. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
  - b. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
  - c. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required. .
  - d. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
  - e. I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally, I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing arguments for or against a request.
  - f. I understand that there is no guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
  - g. I understand that if this application is denied, there is no refund of fees paid.
  - i. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions"), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but it not limited to, the payment of all court costs and attorneys' fees, all judgments or awards, damages, and settlement costs. The indemnity language in this paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.
  - i. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

*The City requires an original signature from the applicant. The applicant's signature below does not need to be notarized.*

Signature: \_\_\_\_\_

Date: 2/27/20

Print Name: Philip Cohen

**OPTIONAL  
NEIGHBORHOOD CONTACT SHEET**

9. **SIGNATURES** of adjoining or neighboring property owners in support of the request are not required but are helpful, especially for projects in single-family residential areas. Signatures may be provided below (attach additional sheets if necessary).

NAME (PRINT)	SIGNATURE	ADDRESS	KEY # ON MAP

**REVIEW** of the project by the applicable Neighborhood Council is not required, but is helpful. If applicable, describe, below or separately, any contact you have had with the Neighborhood Council or other community groups, business associations and/or officials in the area surrounding the project site (attach additional sheets if necessary).





**APPLICATIONS:**

**ENVIRONMENTAL ASSESSMENT FORM**

*THIS BOX FOR CITY PLANNING STAFF USE ONLY*

**Environmental Case Number:** \_\_\_\_\_

**Related Case Numbers:** \_\_\_\_\_

**Case Filed With (Print Name):** \_\_\_\_\_ **Date Filed:** \_\_\_\_\_

**EAF Accepted By (Print Name):** \_\_\_\_\_ **Date Accepted:** \_\_\_\_\_

*All terms in this document are applicable to the singular as well as the plural forms of such terms.*

**Project Address<sup>1</sup>:** 836-844 W. 42nd Pl

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**Assessor's Parcel Number:** 5019-006-016, 5019-006-018

**Major Cross Streets:** W. Vernon Ave and S Hoover St

**Community Plan Area:** South Los Angeles **Council District:** 9

**APPLICANT (if not Property Owner)**

**Name:** Philip Cohen

**Company:** 836 West 42nd Place Associates, LLC

**Address:** 836 W 42nd Place

**City:** Los Angeles **State:** CA **Zip Code:** 90037

**E-Mail:** pcohen@mansfieldequities.com

**Telephone No.:** \_\_\_\_\_

**PROPERTY OWNER**

**Name:** Philip Cohen

**Company:** 836 West 42nd Place Associates, LLC

**Address:** 836 W 42nd Place

**City:** Los Angeles **State:** CA **Zip Code:** 90037

**E-Mail:** pcohen@mansfieldequities.com

**Telephone No.:** \_\_\_\_\_

**APPLICANT'S REPRESENTATIVE**

**Name:** Danielle Hayman

**Company:** Hayman Development LLC

**Address:** 12650 Riverside Dr

**City:** Studio City **State:** CA **Zip Code:** 91607

**E-Mail:** danielle@haymanllc.com

**Telephone No.:** 818-943-0080

**ENVIRONMENTAL REVIEW CONSULTANT**

**Name:** \_\_\_\_\_

**Company:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**City:** \_\_\_\_\_ **State:** \_\_\_\_\_ **Zip Code:** \_\_\_\_\_

**E-Mail:** \_\_\_\_\_

**Telephone No.:** \_\_\_\_\_

<sup>1</sup> Project address must include all addresses on the subject site (as identified in ZIMAS; <http://zimas.lacity.org>)

**OVERVIEW**

CEQA, or the California Environmental Quality Act, is a statute that requires state and local agencies to identify the significant environmental impacts of their actions and to avoid or mitigate those impacts, if feasible. CEQA requires public agencies to conduct environmental review before making a determination on a project. The environmental review process examines the potential impacts your project will have on the property and its surroundings, and makes recommendations (mitigation measures) on how to minimize or reduce those impacts that are found to be significant. The purpose of this application is to assist staff in determining the appropriate environmental clearance for your project. Please fill out this form completely. Missing, incomplete or inconsistent information will cause delays in the processing of your application.

**1. PROJECT DESCRIPTION**

**A.** Briefly describe the entire project and any related entitlements (e.g. Tentative Tract, Conditional Use, Zone Change, etc.). The description must include all phases and plans for future expansion.

New 31 Unit 5 story Apartment Building over Type 1A garage with request of TOC entitlement, Tier 3 incentives. Requesting a height increase of 11ft in total of 56ft and side yard setback reduction from 8ft to 7ft.

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Additional information or Expanded Initial Study attached:     YES     NO

**B.** Will the project require certification, authorization, clearance or issuance of a permit by any federal, state, county, or environmental control agency, such as Environmental Protection Agency, Air Quality Management District, Water Resources Board, Environmental Affairs, etc.?     YES     NO

If YES, please specify:

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**2. EXISTING CONDITIONS**

**A. Project Site.**

Lot Area: 13,750 \_\_\_\_\_ square feet

Net Acres: 0.32 \_\_\_\_\_ Gross Acres: \_\_\_\_\_

**B. Zoning/Land Use.**

	Existing	Proposed
<b>Zoning</b>	R3-1	R3-1
<b>Use of Land</b>	Medium Residential	Medium Residential
<b>General Plan Designation</b>		

**C. Structures.**

1. Does the property contain any vacant structure?  YES  NO  
 If YES, describe and state how long it has been vacant: \_\_\_\_\_  
 \_\_\_\_\_

2. Will any structures be removed/demolished as a result of the project?  YES  NO  
 If YES, provide the number: 4, type: Unit  
 \_\_\_\_\_, total square footage: \_\_\_\_\_  
 and age: \_\_\_\_\_ of structures to be removed.

If residential dwellings (apartments, single-family, condominiums etc.) are being removed indicate the number of units: 4

**D. Trees.**

Are there any trees on the property, and/or within the public right-of-way next to the property, that will be removed or impacted\* as a result of the project?  YES  NO

If YES complete the following:

Tree Status	Quantity Existing	Tree Types	Quantity Removed	Quantity Relocated	Quantity Replaced	Quantity Impacted*
<b>Non-Protected</b> (8" trunk diameter and greater)						
<b>Protected</b> (4" trunk diameter and greater)		Oak Tree (excluding Scrub Oak)				
		Southern California Black Walnut				
		Western Sycamore				
		California Bay				

\* Impacted means that grading or construction activity will be conducted within five (5) feet of, or underneath the tree's canopy.

Additional information attached:  YES  NO

If a protected tree (as defined in Section 17.02 of the LAMC) will be removed, replaced, relocated, or impacted, a **Tree Report** is required.

**E. Slope.** State the percent of property which is:

Less than 10% slope:     x     10-15% slope: \_\_\_\_\_ over 15% slope: \_\_\_\_\_

If slopes over 10% exist, a **Topographic Map** will be required.

F. **Grading.** Specify the total amount of dirt being moved:

- 0-500 cubic yards       More than 500 cubic yards

If more than 500 cubic yards (indicate amount): \_\_\_\_\_ cubic yards

G. **Import/Export.** Indicate the amount of dirt to be imported or exported:

Imported: 0 cubic yards      Exported: 0 cubic yards

Location of disposal site: \_\_\_\_\_

Location of borrow site: \_\_\_\_\_

Is the Project Site located within a Bureau of Engineering (BOE) Special Grading Area?    YES       NO

If YES, a **Haul Route** is required.

H. **Hazardous Materials and Substances.** Is the project proposed on land that is or was developed with a dry cleaning, automobile repair, gasoline station, or industrial/manufacturing use, or other similar type of use that may have resulted in site contamination?    YES       NO

If YES, describe: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

If YES, a **Phase I Environmental Site Assessment (ESA)** is required.

I. **Historic, Cultural and/or Architecturally Significant Site or Structure.** Does the project involve any structures, buildings, street lighting systems, spaces, sites or components thereof which are designated or may be eligible for designation in any of the following? If YES, please check and describe:

National Register of Historic Places: \_\_\_\_\_

California Register of Historic Resources: \_\_\_\_\_

City of Los Angeles Cultural Historic Monument: \_\_\_\_\_

Located within a City of Los Angeles Historic Preservation Overlay Zone (HPOZ): \_\_\_\_\_

Identified on SurveyLA: \_\_\_\_\_

Identified in HistoricPlacesLA: \_\_\_\_\_

Does the Project affect any structure 45 or more years old that does not have a local, state, or federal designation for cultural or historic preservation?    YES       NO

**J. Miscellaneous.** Does the property contain any easements, rights-of-way, Covenant & Agreements, contracts, underground storage tanks or pipelines which restrict full use of the property?  YES  NO

If YES, describe: \_\_\_\_\_ and indicate the sheet number on your plans showing the condition: \_\_\_\_\_.

### 3. PROPOSED DEVELOPMENT

In the sections below, describe the entire project, not just the area in need of the entitlement request. If the project involves more than one phase or substantial expansion or changes of existing uses, please document each portion separately, with the total or project details written below. Attach additional sheets as necessary to fully describe the project.

#### A. ALL PROJECTS

##### i. Parking.

Vehicular Parking

Required: 13 + Guest: 0

Proposed: 18 + Guest: 0

Bicycle Parking:

Required Long-Term: 31 Required Short-Term: 3

Proposed Long-Term: 31 Proposed Short-Term: 3

##### ii. Height.

Number of stories (not including mezzanine levels): 5 Maximum height: 56'-0"

Are Mezzanine levels proposed?  YES  NO

If YES, indicate on which floor: \_\_\_\_\_,

If YES, indicate the total square feet of each mezzanine: \_\_\_\_\_

*New construction resulting in a height in excess of 60 feet may require a **Shade/Shadow Analysis**. This does not apply to projects that are located within a Transit Priority Area (TPA) as defined by ZI-2452 (check the Planning and Zoning tab in ZIMAS for this information <http://ZIMAS.lacity.org>).*

##### iii. Project Size.

What is the total floor area of the project? 31,249 gross square feet

##### iv. Lot Coverage.

Indicate the percent of the total project that is proposed for:

Building footprint: 67 %

Paving/hardscape: 14 %

Landscaping: 19 %

v. **Lighting.** Describe night lighting of project: Light is wall mounted fixture with shaded protection pointing light downwards.

**B. RESIDENTIAL PROJECT**

If no portion of the project is residential check  -N/A and continue to next section

**i. Number of Dwelling Units.**

Single Family: \_\_\_\_\_, Apartment: 31, Condominium: \_\_\_\_\_

**ii. Recreational Facilities.** List recreational facilities for project: Computer room, Laundry Room,  
Trash and Recycle Room

**iii. Open Space.**

Does the project involve new construction resulting in additional floor area and units?  YES  NO  
Does the project involve six or more residential units?  YES  NO

If YES to both, complete the following

Pursuant to LAMC 12.21.G	Required	Proposed
Common Open Space (Square Feet)	5,325	5,408
Private Open Space (Square Feet)	1,100	1,100
Landscaped Open Space Area (Square Feet)	715	894
Number of trees (24 inch box or greater)	10	10

**iv. Utilities.** Describe the types of appliances and heating (gas, electric, gas/electric, solar): \_\_\_\_\_  
gas and electric

**v. Accessory Uses.** Describe new accessory structures (detached garage, guest house, swimming pool, fence, stable, etc.) and/or additions: none

**C. COMMERCIAL, INDUSTRIAL OR OTHER PROJECT**

If the project is residential only check  -N/A and continue to next section

**i. Type of Use.** \_\_\_\_\_

**ii. Project Size.** Does the project only involve the remodel or change of use of an existing interior space or leasehold?  YES  NO

If YES, indicate the total size of the interior space or leasehold: \_\_\_\_\_ square feet

**iii. Hotel/Motel.** Identify the number of guest rooms: \_\_\_\_\_ guest rooms

iv. **Days of operation.** \_\_\_\_\_  
**Hours of operation.** \_\_\_\_\_

v. **Special Events.** Will there be special events not normally associated with a day-to-day operation (e.g. fund raisers, pay-for-view events, parent-teacher nights, athletic events, graduations)?  YES  NO  
If YES, describe events and how often they are proposed \_\_\_\_\_

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vi. **Occupancy Limit.** Total Fire Department occupancy limit: \_\_\_\_\_

- a. Number of fixed seats or beds \_\_\_\_\_
- b. Total number of patrons/students \_\_\_\_\_
- c. Number of employees per shift \_\_\_\_\_, number of shifts \_\_\_\_\_
- d. Size of largest assembly area \_\_\_\_\_ square feet

v. **Security.** Describe security provisions for the project \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

#### 4. SELECTED INFORMATION

A. **Circulation.** Identify by name all arterial road types (i.e. Boulevard I, II, Avenue I, II, III) and freeways within 1,000 feet of the proposed Project; give the approximate distances (check <http://navigatela.lacity.org> for this information). Hoover St - Avenue II, Menlo Ave - Local Street - Standard, \_\_\_\_\_

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B. **Green building certification.** Will the project be LEED-certified or equivalent?  YES  NO  
If YES, check appropriate box:

Certified  Equivalent  Silver  Gold  Platinum  Other \_\_\_\_\_

C. **Fire sprinklers.** Will the Project include fire sprinklers?  YES  NO

**5. CLASS 32 URBAN INFILL CATEGORICAL EXEMPTION (CE) REQUEST**

The Class 32 "Urban Infill" Categorical Exemption (Section 15332 of the State CEQA Guidelines), is available for development within urbanized areas. This class is not intended to be applied to projects that would result in any significant traffic, noise, air quality, or water quality impacts.

**Check this box if you are requesting a Class 32 Exemption, and:**

- You have read DCP's Specialized Instructions for the Class 32 Categorical Exemption (CP-7828) and,
- You have submitted the written justifications identified in the Specialized Instructions, and any supporting documents and/or technical studies to support your position that the proposed Project is eligible for the Class 32 Exemption and the project does not fall under any of the Exceptions pursuant to CEQA Section 15300.2.

Note that requesting the Urban Infill CE does not guarantee that the request will be accepted. The City may require additional studies and information if necessary to process the CE. The City reserves all rights to determine the appropriate CEQA clearance, including using multiple clearances and requiring an EIR if necessary.



**APPLICANT/CONSULTANT'S AFFIDAVIT  
OWNER MUST SIGN AND BE NOTARIZED,  
IF THERE IS AN AGENT, THE AGENT MUST ALSO SIGN AND BE NOTARIZED**

PROPERTY OWNER	CONSULTANT/AGENT
I, (print name) <u>Philip Cohen</u>	I, (print name) _____
Signature <u>Philip Cohen</u>	Signature _____

being duly sworn, state that the statements and information, including plans and other attachments, contained in this Environmental Assessment Form are in all respects true and correct to the best of my knowledge and belief. I hereby certify that I have fully informed the City of the nature of the Project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger Project in violation of CEQA. I understand that should the City determine that the Project is part of a larger Project for purposes of CEQA; the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.

**Space Below for Notary's Use**

**California All-Purpose Acknowledgement**

**Civil Code Section 1189**

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On February 27, 2020 before me, Alexis Esther Malka, Notary Public  
(Insert Name of Notary Public and Title)

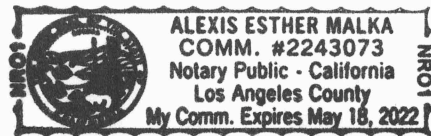
personally appeared Philip Cohen, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that ~~he~~she/they executed the same in ~~his~~her/their authorized capacity(ies), and that by ~~his~~her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

AM  
Signature

(Seal)



## INSTRUCTIONS: Environmental Assessment Form

### REQUIRED SUBMITTAL MATERIALS:

The following materials are required when submitting an Environmental Assessment Form (EAF); materials must be consistent with the application. All materials should reflect the entire Project, not just the area in need of a zone change, variance, or other entitlement.

The submittal materials are IN ADDITION TO those required for any case/application for which the Environmental Assessment Form is being filed.

**Exhibits Required:** *Please note that based on the circumstances of a particular project proposal, in order to adequately analyze the environmental impacts of the project, assigned staff may require any of the following reports even if the project does not meet the indicated threshold.*

- A. **Plot Plans and/or Subdivision Map and/or Haul Route Map:** One full size plot plan, subdivision map or haul route map and two 11" x 17" copies; material must show the location and layout of proposed development including dimensions. Include topographic lines where grade is over 10%; and the location and diameter of all existing trees with a trunk diameter greater than four inches on the project site and the adjacent public right-of-way.
- B. **Vicinity Maps:** Two copies (8½" x 11") showing an area larger than the Radius/Land Use Map and depicting nearby street system, public facilities and other significant physical features with project area highlighted (similar to road maps, Thomas Brothers Maps, etc.).
- C. **Color Pictures:** Two or more color pictures of the project site (taken within the last 30 days) showing existing improvements, walls, trees and other structures on the property. Black and white or gray scale copies of color photos are not acceptable; internet "street view" images are not acceptable.
- D. **Notice of Intent Fee:** An UNDATED check in the amount of \$75 made out to the **Los Angeles County Clerk** for the purpose of filing a Notice of Intent to Adopt a Negative Declaration as required by Section 15072 of the State CEQA Guidelines.
- E. **Payment Receipt:** Fees must be paid at the time of filing the Environmental Assessment per Article 9, Section 19.05 of the LAMC for the purpose of processing the initial study and for the publication of the Negative Declaration or Mitigated Negative Declaration; provide one copy of the payment receipt.
- F. **Associated Application:** A duplicate copy of the application for the associated entitlement (e.g. zone change, general plan amendment, variance, conditional use, subdivider's statement) including entitlement justification and/or findings, if available.
- G. **Project Planning Referral Form:** A copy of signed Project Planning Referral form ([CP-7812](#)) if the proposed project is located in a specific plan area, Community Design Overlay (CDO), Neighborhood Oriented District (NOD), Sign District (SN), Pedestrian Oriented District (POD), Community Plan Implementation Ordinance area and/or involves small lot subdivision or affordable housing (e.g. Density Bonus, Conditional Use >35% increase, Public Benefit) type of project.
- H. **Radius/Land Use Maps:** Two full size and two 8½" x 11" reduced size radius maps, if required for discretionary filing. Maps shall be prepared in compliance with DCP's *Radius Map Requirements & Guidelines* (form CP-7826); 300' radius line is okay for site plan review applications.

- I. **Elevation Plans:** One full size and two 11" x 17" size plans. See DCP's *Elevation Instructions* form ([CP-7817](#)) for technical requirements and a listing of types of cases where elevations are always required. Exterior elevations can be required by planning staff as needed to illustrate and communicate the details of any case. Elevation plans must always show legible height dimensions.
- J. **Floor Plans:** One full size and two 11" x 17 size. Floor plans should include patios, balconies and, if proposed for use, portions of the right-of-way. Floor plans are always required for hillside projects, CUB's (seats must be numbered), projects where the City Planning Commission (CPC) or the Area Planning Commission (APC) is the decision maker and other cases when the request involves the interior lay-out of a project. Refer to the Floor Plan Instructions ([CP-7751](#)) for detailed information about technical requirements.
- K. **Tree Report:** Two copies of a tree report if project involves removal, relocation, or replacement of any protected trees on the project site or in the right-of way adjacent to the site.
- L. **Geology/Soils Approval Letter:** A copy of letter from Department of Building and Safety and copy of referenced geotechnical report, if located in hillside area and only if new construction is proposed.
- M. **Haul Route Approval:** Projects within a Hillside Grading Area involving import/export of 1,000 cubic yards or more shall submit a soils and/or geotechnical report reviewed & approved by LADBS.
- N. **Topographic Map:** If slopes over 10% exist. If site is over 50 acres, 1" = 200' scale is acceptable.
- O. **Cultural/Historic Impact Report:** If project involves a designated Cultural/Historic property or a historic/cultural resource deemed eligible as historic resources through SurveyLA.
- P. **Cultural/Historic Assessment:** If project involves an undesignated structure, 45 years or older, provide clear unobstructed color photographs of all building facades, including accessory structures and a copy of the original (oldest) building permit, with plan sketch, if available.
- Q. **Traffic Assessment:** If the project approaches or exceeds the following thresholds a Traffic Assessment review by the Department of Transportation (DOT) may be required (this list is not exhaustive, and unlisted uses may also require assessment).

Use	Threshold
Apartments	40 units
Condominiums (incl. live/work)	48 units
Convenience store (24-hr)	340 sf.
Convenience store (<24-hr)	720 sf.
Shopping center	6,700 sf.
Supermarket	2,600 sf.

Use	Threshold
General office	16,000 sf.
Fast food w/no drive-thru	570 sf.
Fast food w/drive thru	550 sf.
Restaurant – high turn over	2,300 sf.
Restaurant (including bars)	3,300 sf.

Please note that a Traffic Assessment does not necessarily result in a Traffic Study. However, an additional fee, pursuant to Section 19.15 will be required by the DOT for review of the assessment

- R. **Duplicate Files:** An additional copy of the EAF and each exhibit is necessary for projects which are located in:
- The Coastal Zone and
  - The Santa Monica Mountains area

### Density Bonus/TOC Findings for 836-844 42<sup>nd</sup>

According to LAMC Section 12.22 A.31(e), procedures for a TOC Application, including findings, shall follow LAMC Section 12.22 A.25(g).

**Density Bonus with On-Menu Incentive Items: LAMC 12.22 A.25(g)(2) – To be eligible for any on menu incentives, a Housing Development Project (other than an Adaptive Reuse project) shall comply with the following:**

- 1. The façade of any portion of a building that abuts a street shall be articulated with a change of material or with a break in plane, so that the façade is not a flat surface. Indicate the sheet number on your plans which shows compliance with this requirement:**

The proposed project faces West 42<sup>nd</sup> place, which is categorized as a local street – standard with a 60 feet width street. The project is a 4-story apartment building over a Type 1 garage providing 18 parking spaces. On sheet A5.0, the façade facing north consist of an entrance way to the lobby and other common areas. The balconies consist of sliding glass doors for residence to enter and see the street view of 42<sup>nd</sup> Place. The sheet A5.0 shows that the units with balconies has partition wall to separate the units. Also, there will be black colored metal guardrails on the balconies. A staircase and balconies will be painted blue. The entrance way is largely glass with double doors. The building will be painted white with some blue and gray for aesthetic.

- 2. All buildings must be oriented to the street by providing entrances, windows, architectural features and/or balconies on the front and along any street-facing elevations. Indicate the sheet number on your plans which shows compliance with this requirement:**

The proposed project façade is oriented on West 42<sup>nd</sup> Place. On sheet A0.0 and A5.0, the north elevation shows the front of the building with the gated garage presented on the left side of the building and the entrance of the building that is located on the right side of the building. The main entrance is easily distinguished with large glass windows and double glass doors which leads to the lobby, computer room, trash/recycle room, laundry room, and parking garage. The façade facing 42<sup>nd</sup> also have a blue staircase in the middle of the building with 4 story of blue balconies aligned vertically. Large fixed windows surrounds the building for natural sunlight to emit into the building. Planters and landscaping is shown facing the street. Providing planters will give the building a sense of warmth and liveliness.

- 3. The Housing Development Project shall not be a contributing structure in a designated Historic Preservation Overlay Zone and shall not be on the City of Los Angeles list of Historical-Cultural Monuments. Please check the “Planning and Zoning” tab under the property profile in ZIMAS at <http://zimas.lacity.org>**

According to ZIMAS, the subject development project is not a contributing structure and is not located in a Historical Preservation Overlay Zone. The subject property is not listed as a Historical-Cultural Monument on the City of Los Angeles list.

- 4. The Housing Development Project shall not be located on a substandard street in a Hillside Area or in a Very High Fire Hazard Severity Zone as established in Section 57.4908 of the Municipal Code. To verify whether a project is located on a substandard street, obtain a Hillside Referral Form from the Bureau of Engineering; to verify whether a project is located within a Very High Fire Hazard Severity Zone, check the “Additional” tab under the property profile in ZIMAS.**

According to Zimas, the subject property located at 836-844 West 42<sup>nd</sup> Place is not located in a Hillside Area, or in a Very High Fire Hazard Severity Zone.

## **836 W 42<sup>nd</sup> Place Categorical Exemption (CLASS 32) Findings**

### **Project Description:**

The project site is located at 836-844 West 42nd Place in the city of Los Angeles. The project site lot 47 and 49 has a total of 14,163 square feet. The existing site is currently a residential, multi-family duplex. The area general plan land use is a Medium Residential within the South Los Angeles Community Plan. Since the zone is an R3-1, it allows a density of 800 square feet of land for each dwelling unit. The location is subject to Los Angeles community Plan Adoption, State Enterprise zone, Transit Priority Area in the city and Alcohol Sales Specific Plan.

The proposed project is to construct a 4 story apartment building with 31 units over a grade level garage, giving it a total of 5 stories. The project is located near a major transit located in West Vernon Avenue and South Vermont Avenue. The transit signifies that it qualifies Tier 3 Affordable Housing Incentives in pursuant to the City's Transit Oriented Communities (TPC) program. With Tier 3 incentives, it will provide 0.5 parking spaces for dwelling unit as its base incentives. Also, by providing 15 % of affordable units to very low income, additional bonus incentives is given. The proposed project is utilizing tier 3 incentives to gain additional units from 18 units by rights to 31 units total. The project also is eligible for base incentives on Floor Area Ratio (FAR) increase that allows a 3:1 to 3.75:1 of more building area. The project permits a 45 feet in height elevation with additional 11 feet per TOC incentives; providing a total of 56 feet in height. The project is also requesting sides setback reduction from 8 feet to 7 feet. The base incentives on parking requires to provide 13 spaces, however, this project is proposing 18 parking spaces.

### **Class 32 Categorical Exemption**

Article 19 (Categorical Exemptions) of the State California Environmental Quality Act (CEQA) Guidelines lists classes of project that are exempt from the requirements of CEQA and CEQA Guidelines Sec. 15332- In-Fill Development Projects. The Class 32 "Infill" Categorical Exemption (CEQA Guideline Section 15332), hereafter referred to as the Class 32 Exemption, exempts infill development within urbanized areas if it meets certain criteria. The class consists of environmentally benign infill projects that are consistent with the local General Plan and Zoning requirements. This class is not intended for projects that would result in any significant traffic, noise, air quality, or water quality impacts. It may apply to residential, commercial, industrial, and/or mixed-use projects.

In the City of Los Angeles, the Class 32 Exemption is available only for projects that: (a) do not trigger Site Plan Review; or (b) trigger Site Plan review, but the Initial Study shows that a Negative Declaration may be adopted. The Class 32 Exemption is not available for any project that requires mitigation measures to reduce potential environmental impacts to less than significant. Additionally, there are exceptions to the exemptions depending on the nature or location of the project, pursuant to CEQA Section 15300.2. For a proposed project to qualify, you must be able to demonstrate that it does not fall under the following Exceptions:

- a. The project and successive projects of the same type in the same place will result in cumulative impacts;*
- b. There are unusual circumstances creating the reasonable possibility of significant effects;*

*c. The project may result in damage to scenic resources, including, but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within an officially designated scenic highway;*

*d. The project is located on a site that the Department of Toxic Substances Control and the Secretary of the Environmental Protection have identified, pursuant to Government code section 65962.5, as being affected by hazardous wastes or clean-up problems; or*

*e. The project may cause a substantial adverse change in the significance of an historical resource*

**The project must meet the following criteria and exceptions to be exempt from CEQA:**

- 1. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.**

The proposed project is consistent with the general plan land use designation of medium residential and zoning of R3 multiple family dwelling, since the project proposed a multiple family apartment project. The project is within the permitted height of the zone, which is 45 feet. Pursuant to the City's TOC Guidelines, the project is allowed to exceed the number of dwelling units permitted on this zone, relative to the size of the land. The project is located in a multi-family area and surrounded by multi-family zones, therefore being consistent with the surrounding land uses and general plan and zoning designation and regulations.

- 2. The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.**

The proposed development project is located in the City of Los Angeles. The assessor parcel number is 5019-006-016 and 5019-006-018, and it is located in Re-Plat of John Ray's Subdivision of the City. The project is within the South Los Angeles Community Plan and in Council District 9. The project is located on a total of 14,163 square feet of land with a total of 0.42 acres, therefore being located on a site of less than five acres. The project is near a major transit located south west on South Vermont Avenue and West Vernon Avenue. The location is surrounded by multi-family homes and is located near Menlo Elementary School, liquor stores and café. Therefore, the project should be categorically exempt from CEQA because it occurs in city limits on a project site of no more than five acres substantially surrounded by urban uses.

**3. The project site has no value as habitat for endangered, rare or threatened species.**

The existing project sites consist of duplexes and is located in an urbanized area of the City. The project site is not located in a Significant Ecological Area, according to the City of Los Angeles CEQA Threshold Guide from 2006. No significant or protected would be removed as a part of the project, therefore not impacting any species that live in the area or on the site.

**4. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.**

With reduced parking, it will allow the residences to have other source of transportation and with the closest transit located on West Vernon Ave and South Vermont Ave in walkable distance, the current and future residents are given the opportunity to have their daily commute and utilize the transits. This will decrease their option of having to drive individually and will not have a significant effect the current and future traffic.

The City of Los Angeles prohibits construction activity related to the constructing of this project to only between the hours of 7:00am to 3:00 pm. All activities related to construction or repair work are prohibited on Sundays and all federal holidays. Section 112.05 of the LAMC also specifies the maximum noise level of construction machinery that can be generated in any residential zone of the city or within 500 feet thereof. The project must comply with these City of Los Angeles Noise Ordinances during construction and operation, therefore the project will not significantly affect noise in the immediate area.

The proposed project has less than 80 residential units and less than 75,000 square feet of residential use and involves no export or import of cubic yards of soil. Materials will be chemical free, green approved and therefore will not significantly impact air quality.

As part of its occupancy, the project will be required to comply with the City's standards for apartment dwellings, storm water collection and urban runoff, therefore it will not contribute or have a significant impact on water quality.

**5. The site can be adequately served by all required utilities and public services.**

The project site is located in a highly urbanized area and already services by existing public utilities and services. These utility and service companies will continue to service the project site through the completion of the project and afterward. Therefore, the proposed project will be adequately served by all required utilities and public services.





# 31 UNIT APARTMENTS

836 W 42ND PLACE  
LOS ANGELES, CA 90037

100% PRIVATELY FUNDED  
(INCLUDING 5 VERY LOW INCOME UNITS)

FOR

42ND PLACE LLC

LOS ANGELES, CA

## SHEET INDEX

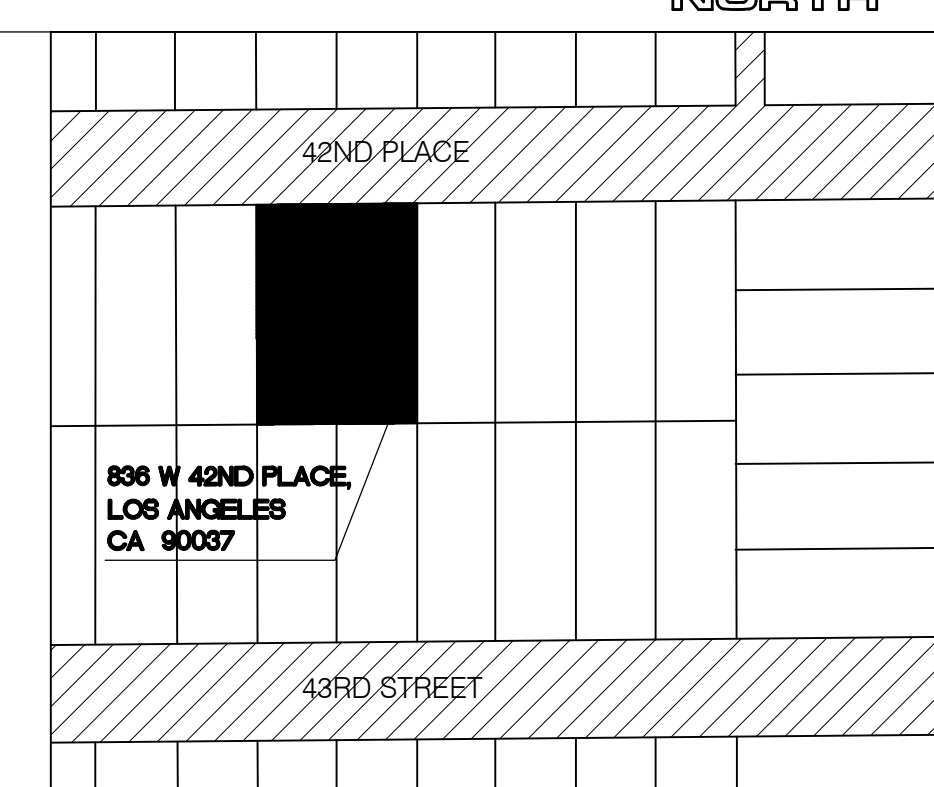
A0.0	COVER SHEET
A0.0a	BUILDING ANALYSIS
C1.0	SURVEY
A2.0	SITE PLAN
A2.1	OPEN SPACE
A3.0	STREET LEVEL / 1ST FLOOR PLAN
A3.2	2ND FLOOR PLAN
A3.3	3RD FLOOR PLAN
A3.4	4TH FLOOR PLAN
A3.5	5TH FLOOR PLAN
A4.0	ROOF PLAN
A5.0	ELEVATIONS
A5.1	ELEVATIONS
A6.0	SECTIONS
A6.1	SECTIONS

ARCHITECTURAL

L1	STREET LEVEL
L1.1	2ND FLOOR
L1.2	ROOF PLAN

ELECT.  
MECH.  
STRUCTURAL  
CIVIL

### VICINITY MAP



LEGAL DESCRIPTION :

TRACT : RE-PLAN OF JOHN REY'S SUBDIVISION

BLOCK: NONE

LOT : 47,49

APN: 5019008018, 5019008018

ZONE: R3-1

SEE SURVEY FOR ADDITIONAL INFORMATION



12650 RIVERSIDE DR. SUITE 100  
VALLEY VILLAGE, CA 91607  
TEL: (818) 387-8832  
E-MAIL: BOAZ@KETTERDESIGNS.COM

NO.	DATE	DESCRIPTION	DATE	CHECKED BY	DATE
10					
09					
08					
07					
06					
05					
04					
03					
02					
01					

**REVISIONS**

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NO.	DATE	ISSUED FOR	SCALE	PROJECT NO.	TITLE
1		ST. P.C. SUB			

COVER SHEET  
1/8"=1'-0"

## CONSULTANTS

**STRUCTURAL ENGINEER**

- BERKOZ AND ASSOCIATES.

- 5530 CORBIN AVE., SUITE 355  
- TARZANA, CALIFORNIA 91356  
- TEL: (818)668-8589  
- E-MAIL: CAD@BER-SE.COM

**ELECTRICAL ENGINEER**

- ABRARI + ASSOCIATES

- 1713 STANDARD AVE.  
- GLENDALE, CA 91201  
- TEL: (818) 956-1900  
- EMAIL: MAIL@ABRARI.COM

**MECHANICAL ENGINEER**

- SHAMIM ENGINEERING CONSULTANTS INC.

- 5530 CORBIN AVE. SUITE 300  
- TARZANA, CA 91356  
- TEL: (818) 788-6778  
- EMAIL: MARK@SHAMIMENGINEERING.COM

**LANDSCAPE ARCHITECT**

- PAUL LEWIS + ASSOCIATES

- 13351-D RIVERSIDE DRIVE #445  
- SHERMAN OAKS, CA 91423  
- TEL: (818)788-9382  
- FAX: (818)788-3217

**SOILS ENGINEER**

- AGI GEOTECHNICAL INC.

- 16555 SHERMAN WAY, SUITE A  
- VAN NUYS, CA 91406  
- TEL: (818)785-5244  
- FAX: (818)785-6251

**31 UNITS APARTMENT**

836 WEST 42ND PLACE  
LOS ANGELES, CA. 90037

PROJECT CLIENT

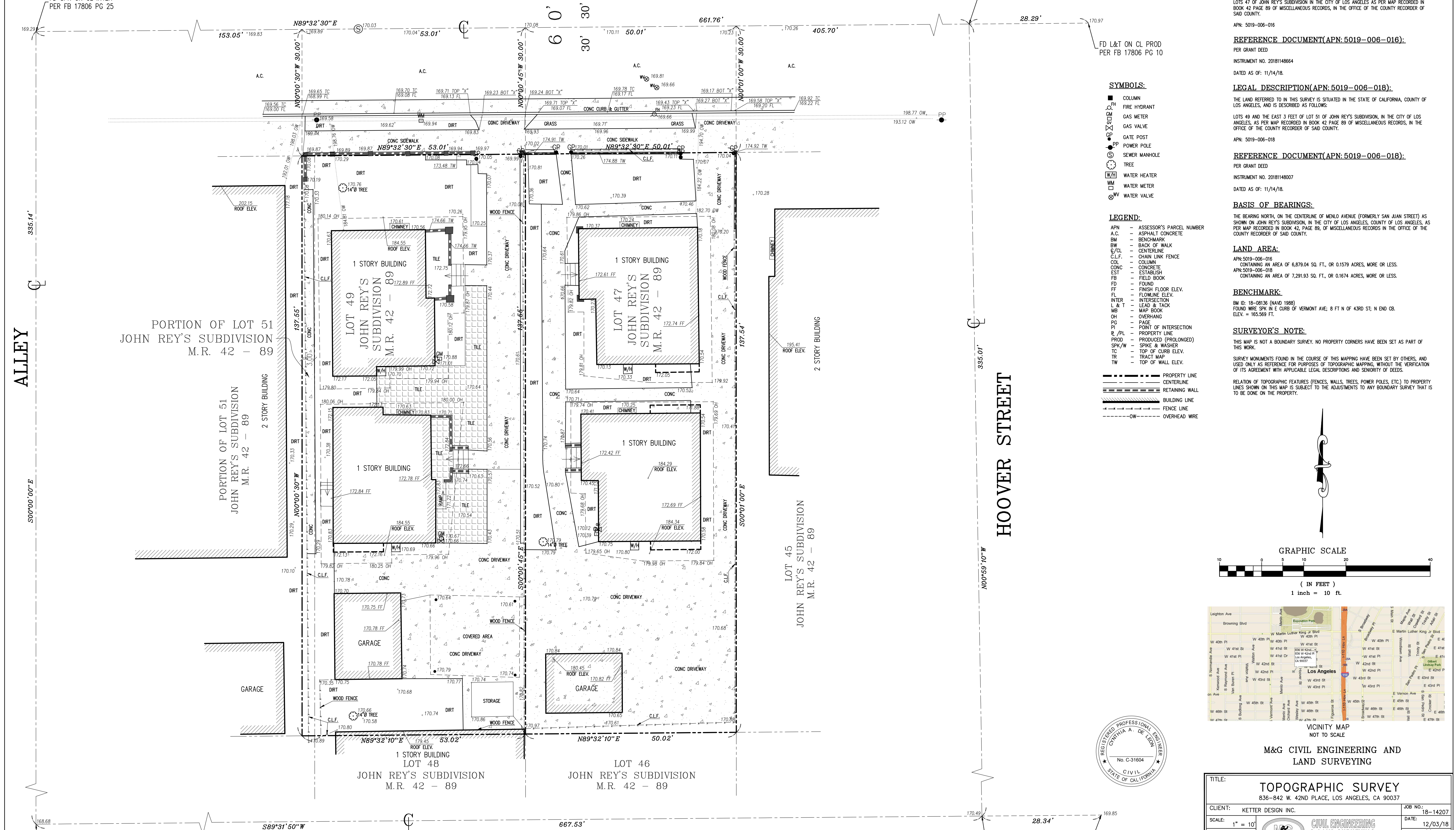
18-063

PROJECT NO.  
SHEET NO.  
A0.0

10/17/2019



# 42ND PLACE (FORMERLY SANTIAGO STREET)



**LEGAL DESCRIPTION (APN: 5019-006-016):**  
 THE LAND REFERRED TO IN THIS SURVEY IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF LOS ANGELES, AND IS DESCRIBED AS FOLLOWS:  
 LOTS 47 OF JOHN REY'S SUBDIVISION IN THE CITY OF LOS ANGELES AS PER MAP RECORDED IN BOOK 42 PAGE 89 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.  
 APN: 5019-006-016  
**REFERENCE DOCUMENT (APN: 5019-006-016):**  
 PER GRANT DEED  
 INSTRUMENT NO. 20181148664  
 DATED AS OF: 11/14/18  
**LEGAL DESCRIPTION (APN: 5019-006-018):**  
 THE LAND REFERRED TO IN THIS SURVEY IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF LOS ANGELES, AND IS DESCRIBED AS FOLLOWS:  
 LOTS 49 AND THE EAST 3 FEET OF LOT 51 OF JOHN REY'S SUBDIVISION, IN THE CITY OF LOS ANGELES, AS PER MAP RECORDED IN BOOK 42 PAGE 89 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.  
 APN: 5019-006-018  
**REFERENCE DOCUMENT (APN: 5019-006-018):**  
 PER GRANT DEED  
 INSTRUMENT NO. 20181148007  
 DATED AS OF: 11/14/18

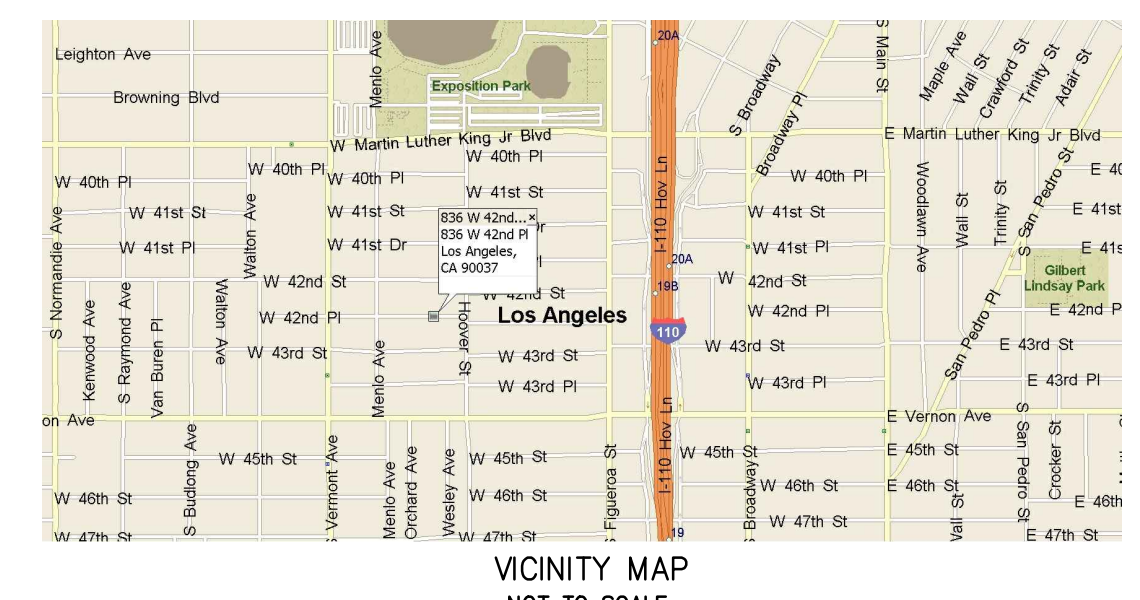
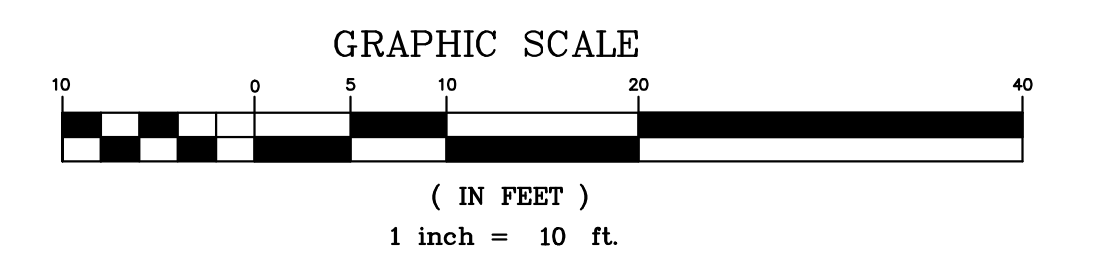
- SYMBOLS:**
- COLUMN
  - FIRE HYDRANT
  - GAS METER
  - GAS VALVE
  - GATE POST
  - POWER POLE
  - SEWER MANHOLE
  - TREE
  - WATER HEATER
  - WATER METER
  - WATER VALVE
- LEGEND:**
- APN - ASSESSOR'S PARCEL NUMBER
  - A.C. - ASPHALT CONCRETE
  - B.M. - BENCHMARK
  - B.W. - BACK OF WALK
  - C/CL - CENTERLINE
  - CL.F. - CHAIN LINK FENCE
  - COL. - COLUMN CONCRETE
  - CONC - CONCRETE
  - EST - ESTABLISH
  - FB - FIELD BOOK
  - FD - FOUND
  - FF - FINISH FLOOR ELEV.
  - FL - FLOWLINE ELEV.
  - INT. - INTERSECTION
  - L & T - LEAD & TACK
  - MB - MAP BOOK
  - OH - OVERHANG
  - PG - PAGE
  - PI - POINT OF INTERSECTION
  - P.L. - PROPERTY LINE
  - PROD - PRODUCED (PROLONGED)
  - SPK/W - SPIKE & WASHER
  - TC - TOP OF CURB ELEV.
  - TR - TRACT MAP
  - TW - TOP OF WALL ELEV.
- PROPERTY LINE**  
 CENTERLINE  
 RETAINING WALL  
 BUILDING LINE  
 FENCE LINE  
 OVERHEAD WIRE

**BASIS OF BEARINGS:**  
 THE BEARING NORTH, ON THE CENTERLINE OF MENLO AVENUE (FORMERLY SAN JUAN STREET) AS SHOWN ON JOHN REY'S SUBDIVISION, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, AS PER MAP RECORDED IN BOOK 42, PAGE 89, OF MISCELLANEOUS RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**LAND AREA:**  
 APN: 5019-006-016  
 CONTAINING AN AREA OF 6,879.04 SQ. FT., OR 0.1579 ACRES, MORE OR LESS.  
 APN: 5019-006-018  
 CONTAINING AN AREA OF 7,291.93 SQ. FT., OR 0.1674 ACRES, MORE OR LESS.

**BENCHMARK:**  
 B.M. ID: 18-08136 (NAD 1983)  
 FOUND WIRE SPK IN E CURB OF VERMONT AVE, 8 FT N OF 43RD ST; N END CB.  
 ELEV. = 165.569 FT.

**SURVEYOR'S NOTE:**  
 THIS MAP IS NOT A BOUNDARY SURVEY. NO PROPERTY CORNERS HAVE BEEN SET AS PART OF THIS WORK.  
 SURVEY MONUMENTS FOUND IN THE COURSE OF THIS MAPPING HAVE BEEN SET BY OTHERS, AND USED ONLY AS REFERENCE FOR PURPOSES OF TOPOGRAPHIC MAPPING. WITHOUT THE VERIFICATION OF ITS AGREEMENT WITH APPLICABLE LEGAL DESCRIPTIONS AND SENIORITY OF DEEDS.  
 RELATION OF TOPOGRAPHIC FEATURES (FENCES, WALLS, TREES, POWER POLES, ETC.) TO PROPERTY LINES SHOWN ON THIS MAP IS SUBJECT TO THE ADJUSTMENTS TO ANY BOUNDARY SURVEY THAT IS TO BE DONE ON THE PROPERTY.



**M&G CIVIL ENGINEERING AND LAND SURVEYING**

**TITLE: TOPOGRAPHIC SURVEY**  
 836-842 W. 42ND PLACE, LOS ANGELES, CA 90037

CLIENT: KETTER DESIGN INC.	JOB NO.: 18-14207
SCALE: 1" = 10'	DATE: 12/03/18
DESIGNED BY: F.G. / DD	REVISION (S):
DRAWN BY: DC	SHEET 1
CHECKED BY: C.D.L.	OF 1 SHEET

**CIVIL ENGINEERING & LAND SURVEYING**  
 347 S. ROBERTSON BLVD.  
 BEVERLY HILLS, CALIFORNIA 90211  
 TEL: (310) 659-0871 FAX: (310) 659-0845  
 info@mglansur.com www.mglansur.com

ALLEY

HOOVER STREET

# 43RD STREET

FD SPK ON CL INTER PER FB 17806 PG 25

EST CL INTER BY FD TIES PER FB 17806 PG 10

FD L&T ON CL PROD PER FB 17806 PG 10

FD S.S.D.M. ON CL INTER IN LIEU OF SPK/W PER FB 114-197 PG 151

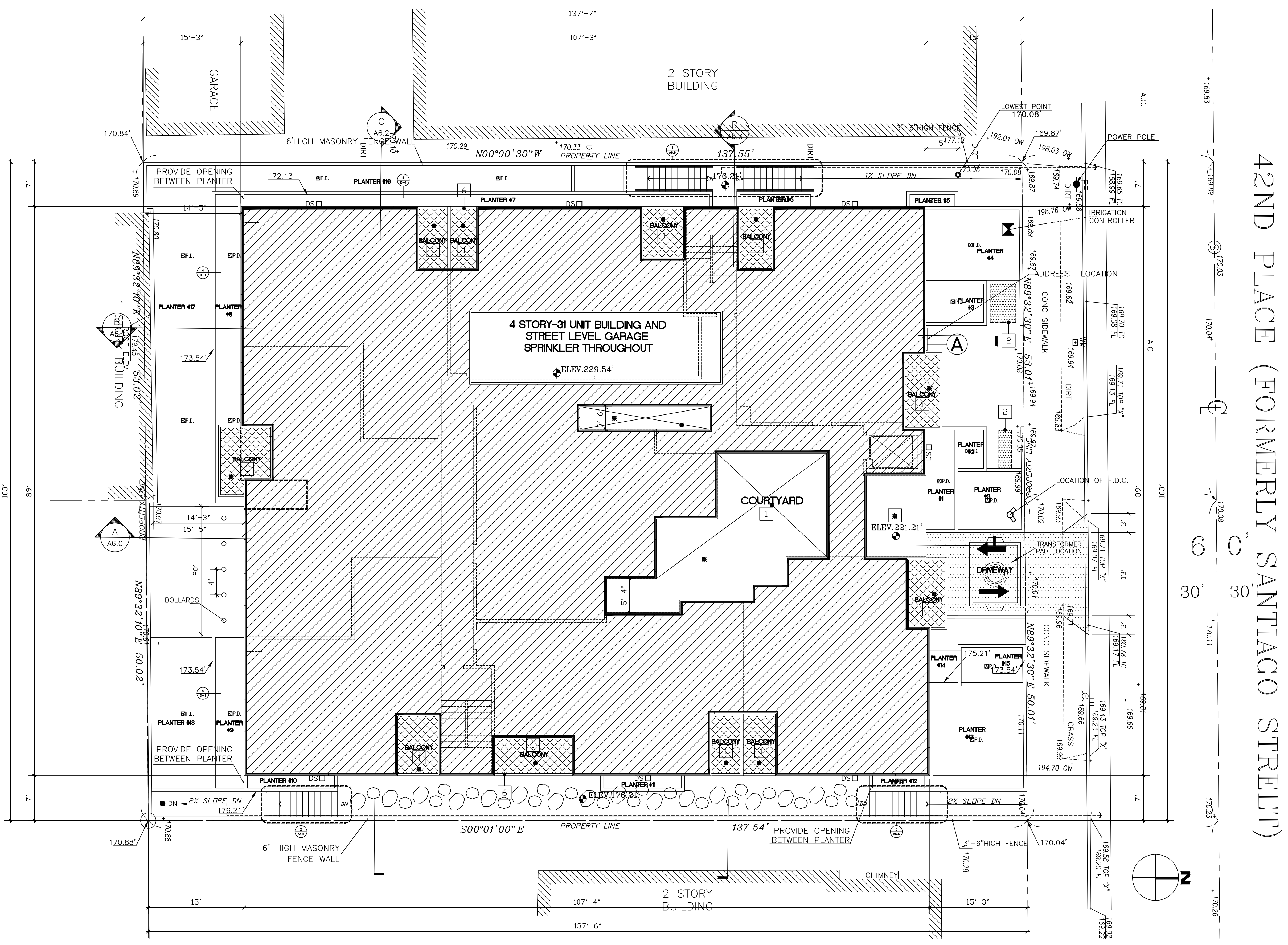
FD L&T ON CL PROD PER FB 114-197 PG 151

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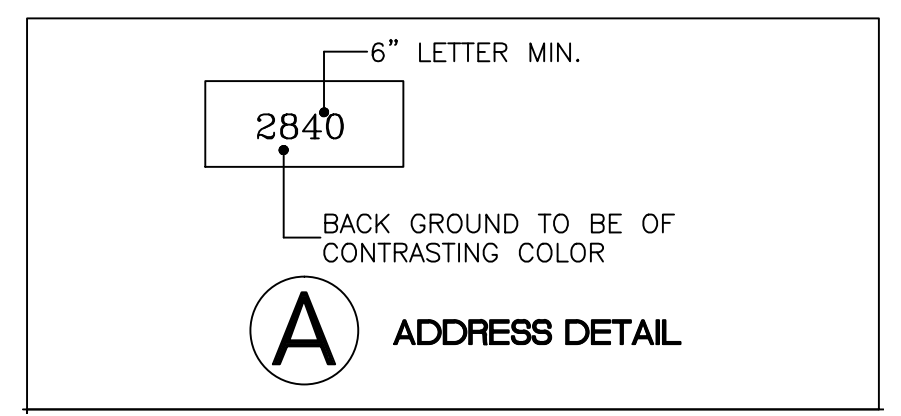
NO.	DATE	ISSUED FOR	DESCRIPTION
1		1 ST. P.C. SUB	

**31 UNITS APARTMENT**  
836 WEST 42ND PLACE  
LOS ANGELES, CA. 90037

**18-063**  
PROJECT NO.  
SUBMIT NO.  
**A2.0**



- GENERAL NOTES:**
- THIS PLAN TO BE READ IN CONJUNCTION WITH THE OTHER SHEETS IN THIS SET. ALL WALL SURFACES PHYSICALLY EXPOSED TO THE PUBLIC AT GROUND LEVEL SHALL BE APPLIED WITH TWO (2) COATS OF "ANTI-GRAFFITI CLEAR COAT 1033" BY NATIONAL PAINT CO. INC. OR APPROVED EQUAL.
  - FENCES, PLANTERS AND RETAINING WALLS INT HE REQUIRED FRONT YARD SHALL BE A MAXIMUM 3'-6" MEASURED FROM THE ADJACENT NATURAL GRADE.
  - ALL STEPS, STAIRS SHALL BE PROVIDED WITH 2"-10" HIGH HANDRAIL.
  - PROVIDE LOW COST CONSUMPTION WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
  - PROVIDE APPROVED SPRINKLER SYSTEM. FIRE SPRINKLER MUST BE APPROVED BY THE PLUMBING DIVISION PRIOR TO INSTALLATION.
  - ALL RETAINING WALLS LOCATED CLOSE TO THE PROPERTY LINE OF AN ADJACENT NEIGHBOR THAN THE HEIGHT OF THE WALL SHALL REQUIRE THE PLACEMENT OF THE REQUIRED BACKFILL NO LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND THE NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY THE RESPONSIBLE ENGINEER.
  - PLANTER ON GRADE MUST BE A MAXIMUM OF 3'-6" HIGH AT FRONT YARD. REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
  - CONCRETE SLAB ON GRADE REFER TO STRUCTURAL DETAILS.
  - 42" GUARDRAIL IN 2" SQ. STEEL FRAME WITH 3/4" SQ. AT 6" O.C.
  - 6'-0" HIGH OF 6" THICK MASONRY BLOCK WALLFENCE AT SIDE YARD. UNDER SEPARATE PERMIT.
  - ALL CONCENTRATED DRAINAGE INCLUDING ROOF WATER SHALL BE CONDUCTED TO THE STREET IN AN APPROVED DEVICE AT 2% MINIMUM.
  - THE BUILDING SHALL HAVE WATER CLOSETS (TOILETS) WHICH USE NO MORE THAN 1.5 GALLONS PER FLUSH. (P.C. 91.3).
  - MECHANICAL PERMIT FROM MECHANICAL BUREAU HEATING DIVISION IS REQUIRED PRIOR TO INSTALLATION OF FACTORY BUILT CHIMNEYS AND FIREPLACES.
  - OWNER WILL EQUIP ALL SHOWERS WITH LOW-FLOW SHOWER HEADS.
  - TEMPORARY PEDESTRIAN SHALL BE PROVIDED AS REQUIRED BY SECTION 303.7.
  - GRAFFITI REMOVAL AND DETERENCE. THE OWNER, ALL SUCCESSORS SHALL KNOWLEDGE AND APPLICABILITY OF THE GRAFFITI REMOVAL AND DETERENCE REQUIREMENTS OF THE MUNICIPAL CODE THIS PROJECT AS CONTAINED IN SECTION 91.8101(F), 91.8904.1 AND 91.1701(E), PARTICULARLY WITH REGARD TO THE FOLLOWING:
    - THE FIRST NINE FEET OF EXTERIOR WALLS AND DOORS, MEASURED FROM GRADE, AND ALL OF ANY WALLS ENCLOSING THE PROPERTY SHALL BE BUILT AND MAINTAINED WITH GRAFFITI RESISTANT FINISH (LARR #2588) CONSISTING OF EITHER A HARD SMOOTH, IMPERMEABLE SURFACE SUCH AS CERAMIC TILE, BAKED ENAMEL OR A RENEWABLE COATING OF AN APPROVED, ANTI-GRAFFITI MATERIAL OR A COMBINATION OF BOTH (91.1701(E)).
    - THE PERIOD FOR COMPLIANCE WITH GRAFFITI REMOVAL ORDER ISSUED BY THE BUILDING AND SAFETY DEPARTMENT IS 15 DAYS FOLLOWING WHICH PERIOD WITH FAILURE TO PERFORM THE CITY OR ITS CONTRACTOR IS EMPOWERED TO ENTER UPON THE PREMISES TO REMOVE SUCH GRAFFITI WITH COSTS ACCRUING TO THE OWNER (91.8904.1); AND
    - THE PERIOD FOR COMPLIANCE WITH A SUBSEQUENT ORDER FOR A SUBSEQUENT OCCURRENCE IS THREE DAYS (91.8904.09); AND
    - IN ADDITION TO A, B, AND C ABOVE, EXTERIOR WALLS OF NEW COMMERCIAL AND RESIDENTIAL BUILDINGS, OF OTHER THAN GLASS MAY BE COVERED WITH PLUNGING VINES, SCREENED BY SIMILAR VEGETATION CAPABLE OF COVERING OR SCREENING ENTIRE WALLS UP TO A HEIGHT OF ATLEAST 9 FEET, EXCLUDING WINDOWS AND SIGNS.
  - ANY WET WEATHER EROSION CONTROL PLAN (WWECP), UTILIZING SEDIMENT AND EROSION CONTROL BMPs, FOR PROJECT THAT WILL LEAVE DISTURBED SOIL DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15) IS REQUIRED. THE WWECP MUST BE PREPARED FOR PROJECTS THAT HAVE ALREADY BROKEN GROUND, NOT LESS THAN 30 DAYS PRIOR TO THE BEGINNING OF EACH RAINY SEASON DURING WHICH SOIL WILL BE DISTURBED, AND IMPLEMENTED THROUGHOUT THE ENTIRE RAINY SEASON, THROUGH THE END OF THE RAINY SEASON, FOR PROJECT THAT WILL BEGIN CONSTRUCTION DURING THE RAINY SEASON THE WWECP MUST BE SUBMITTED TO THE BUREAU OF ENGINEERING PUBLIC WORKS FOR REVIEW AND APPROVAL. THE WWECP IS NOT A REQUIREMENT FOR ISSUANCE OF A BUILDING OR GRADING PERMIT.
  - THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS APPURTENANCES ETC.) OR TO THE LOCATION OF THE HOOD UP. THE CONSTRUCTION SHALL NOT REMOVE THE LINES THAT ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
  - AN APPROVED SEISMIC SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
  - PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
  - SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH SMOOTH, NON-ABSORBENT SURFACE TO HEIGHT NOT LESS THAN 70 INCHES ABOVE THE DRAIN INLET. SECTION 121.3 USE OF WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE AS NOTED IN SECTION 2509.2.
  - WATER HEATERS MUST BE STRAPPED TO A WALL (SECTION 507.3, UPC).
  - UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED.) 2405.5
  - A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
  - THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM, COMPLYING WITH (NFPA-13R) THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION (903.2.7).
  - THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72 (907.2.9, 907.5.2.3.3, 907.5.2.3.4).
  - EMERGENCY RESPONDER RADIO COVERAGE SHALL BE PROVIDED PER LA CITY FIRE CODE SECTION 510.
  - ALL EXIT DOORS SHALL COMPLY WITH SECTION 1008-1008.1.
  - CLEAR WIDTH OF EACH DOOR OPENING SHALL BE MIN. OR PER TABLE 1005.1, WHICH EVER IS GREATER.
    - MIN. DOOR HEIGHT OF 6'-8"
    - SHALL BE CAPABLE OF OPENING 90 DEGREES.
    - THE MAXIMUM WIDTH OF SWINGING DOOR LEAF SHALL BE 48" NOMINAL.
    - EXIT DOOR SHALL BE SIDE-HINGED SWINGING TYPE.
  - PROVIDE AUTOMATIC SPRINKLER SYSTEM AT TOP OF RUBBISH AND LINEN CHUTES AND IN THEIR TERMINAL ROOM (903.2.10.2).
  - INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS ARE WEATHER-OR SOIL-BASED CONTROLLERS. (4.304.1)

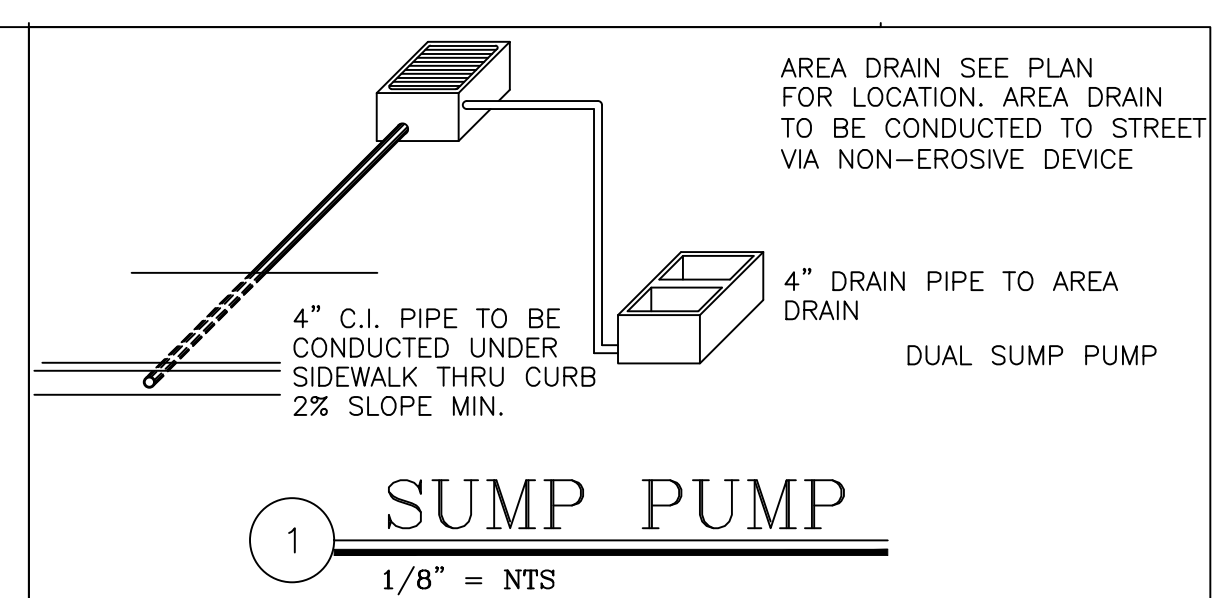


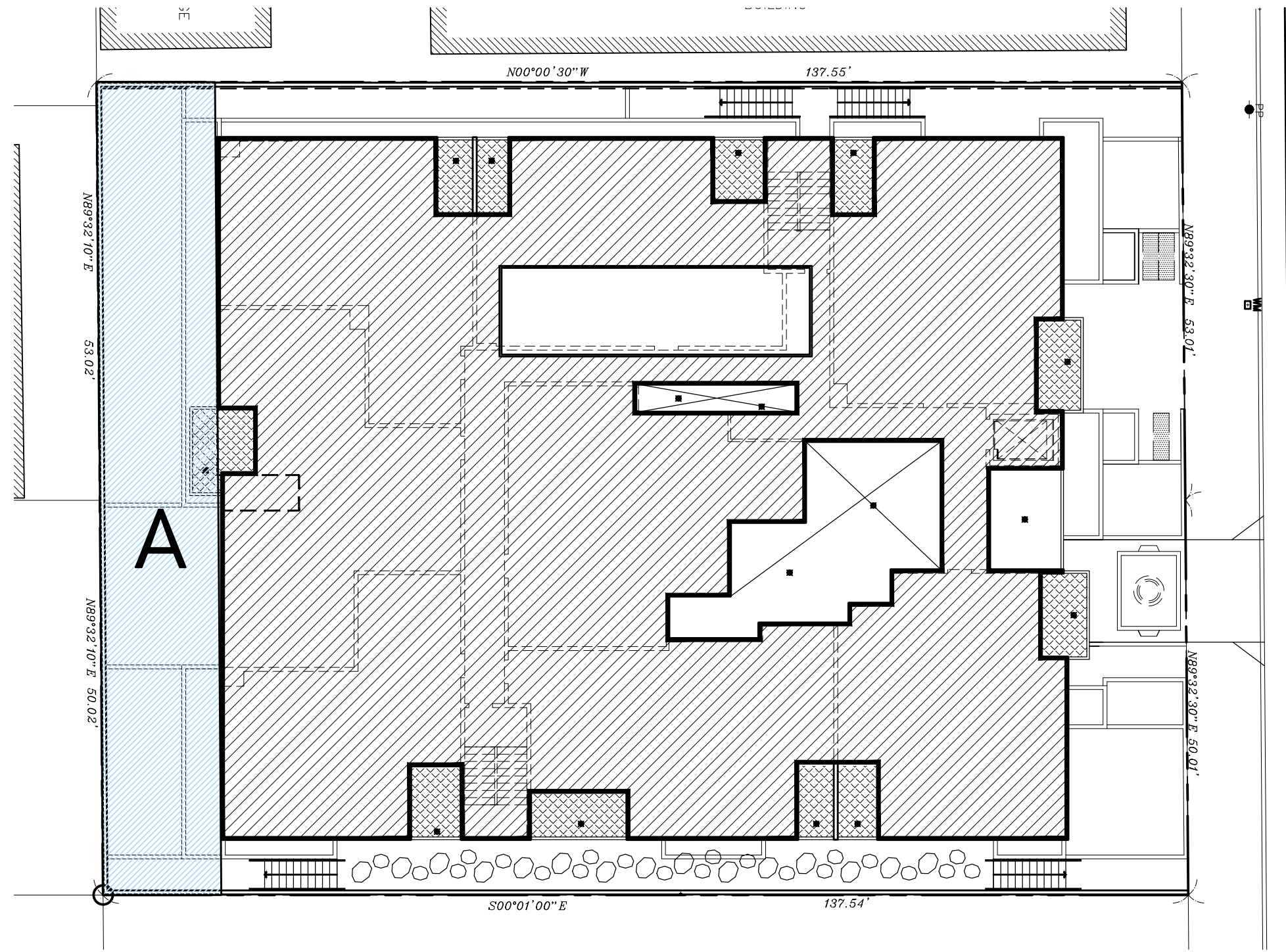
**NOTE:**  
\*25% OF ALL PAVED AREAS SHALL HAVE A SOLAR REFLECTANCE OF 0.30 AS DETERMINED PER ASTM E1918 OR C1549.\*

**1 SITE PLAN**  
1/8" = 1'-0"

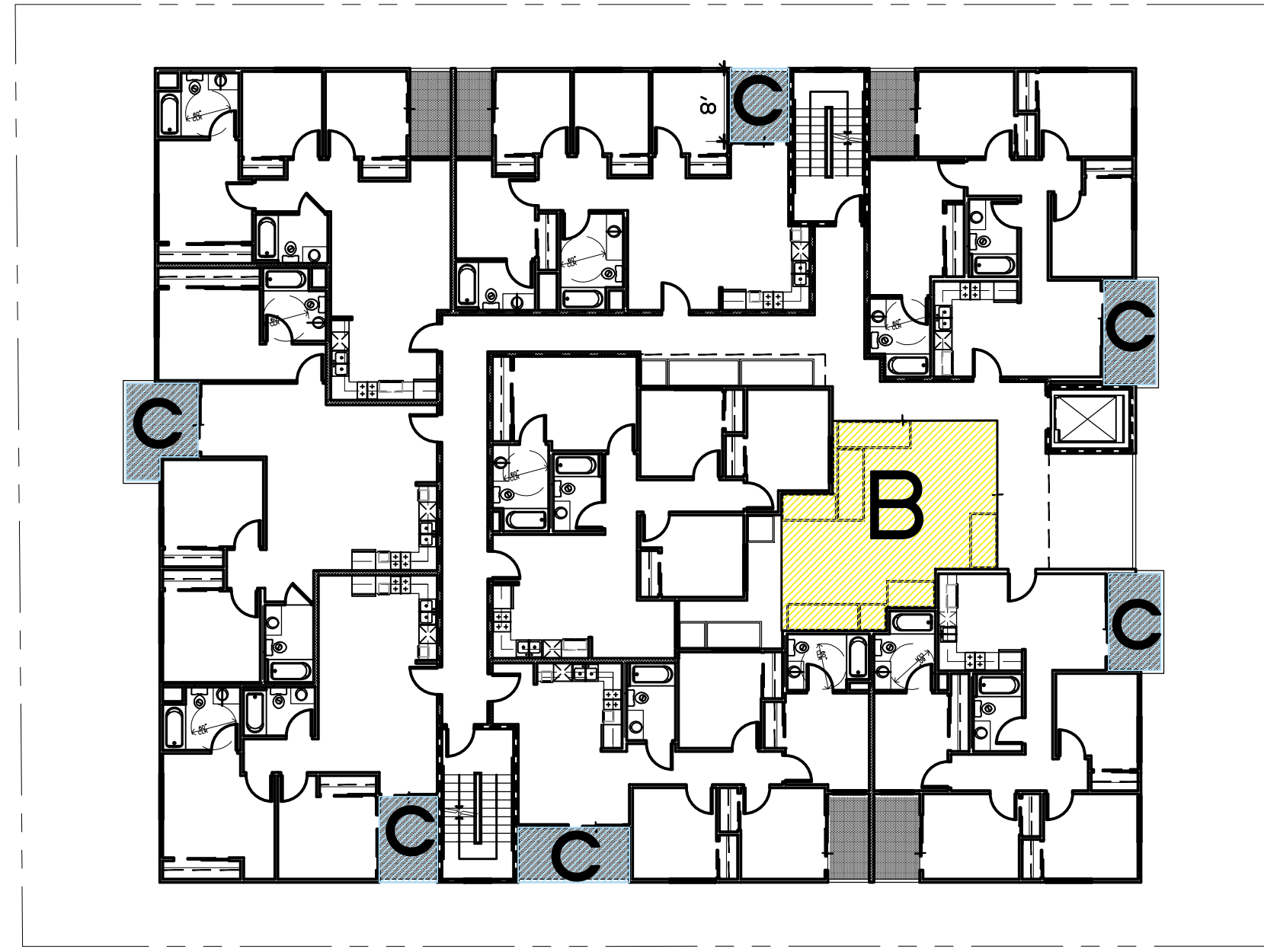
- KEY NOTES**
- AVM INDUSTRIES INC ELASTANO FIBERDECK 100 ICC ESR-2125 L.A.R.R.#25430.
  - SHORT-TERM BICYCLE SEE SHEET D-9 DETAIL '1'.
  - 6" RETAINING WALL
  - MIN. 2% SLOPE TO DRAIN THROUGH CURB 3X4 C.I. DRAIN PIPE (DRAIN TO STREET)
  - LONG TERM BICYCLE SEE SHEET D-9 DETAIL '2'.
  - 42" GUARD (TYP.)

- LEGEND:**
- LANDSCAPE 16%
  - STAMP CONCRETE 17%
  - DRIVEWAY
  - BUILDING COVERAGE 67%
  - DRIVEWAY
  - APPROVED FIRE SPRINKLER HD
  - DOWN SPOUT
  - AREA DRAIN
  - F.D.C. ADAPTOR
  - ACCESSIBLE PATH OF TRAVEL
  - AUTOMATIC IRRIGATION SYSTEM

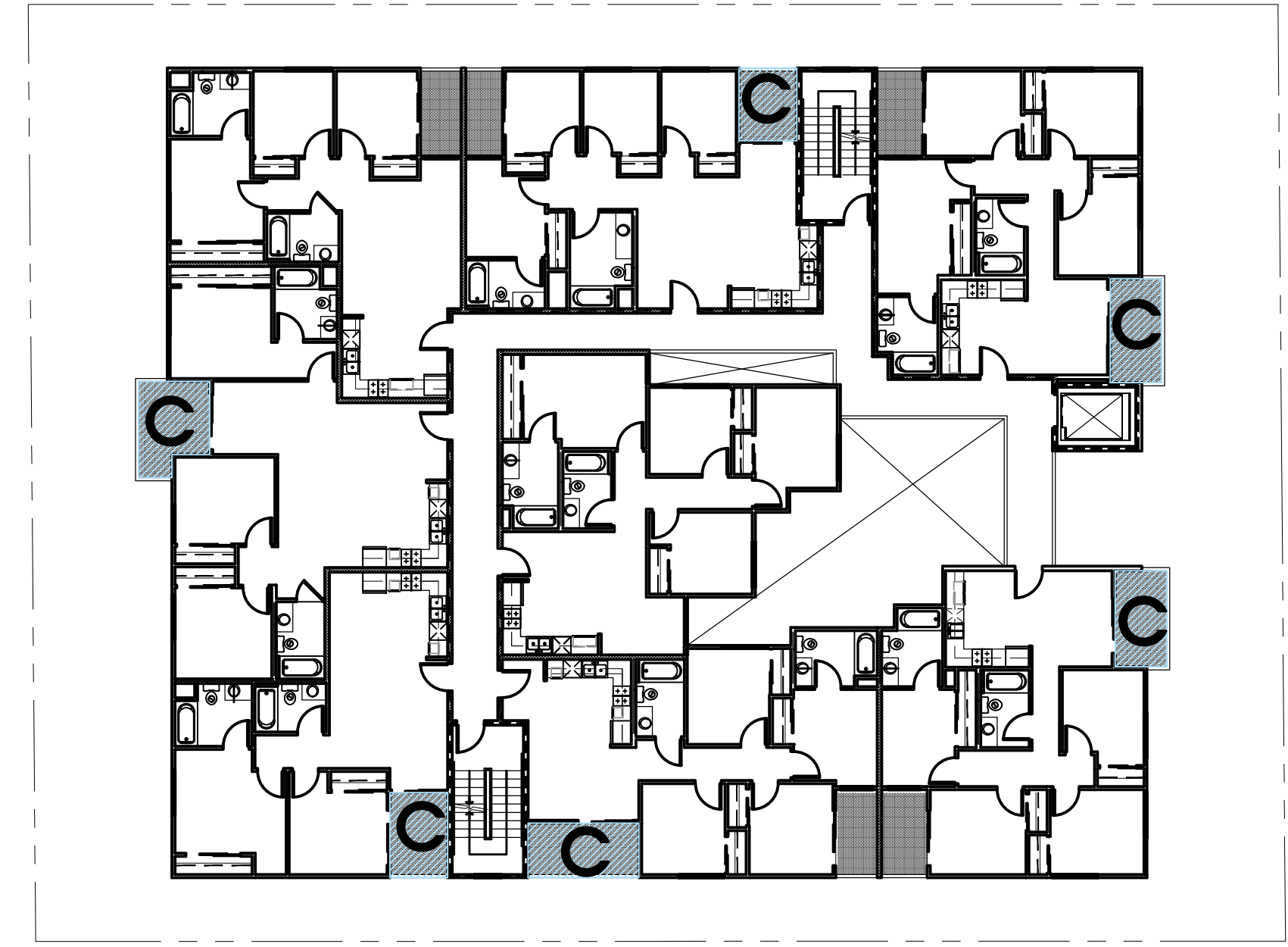




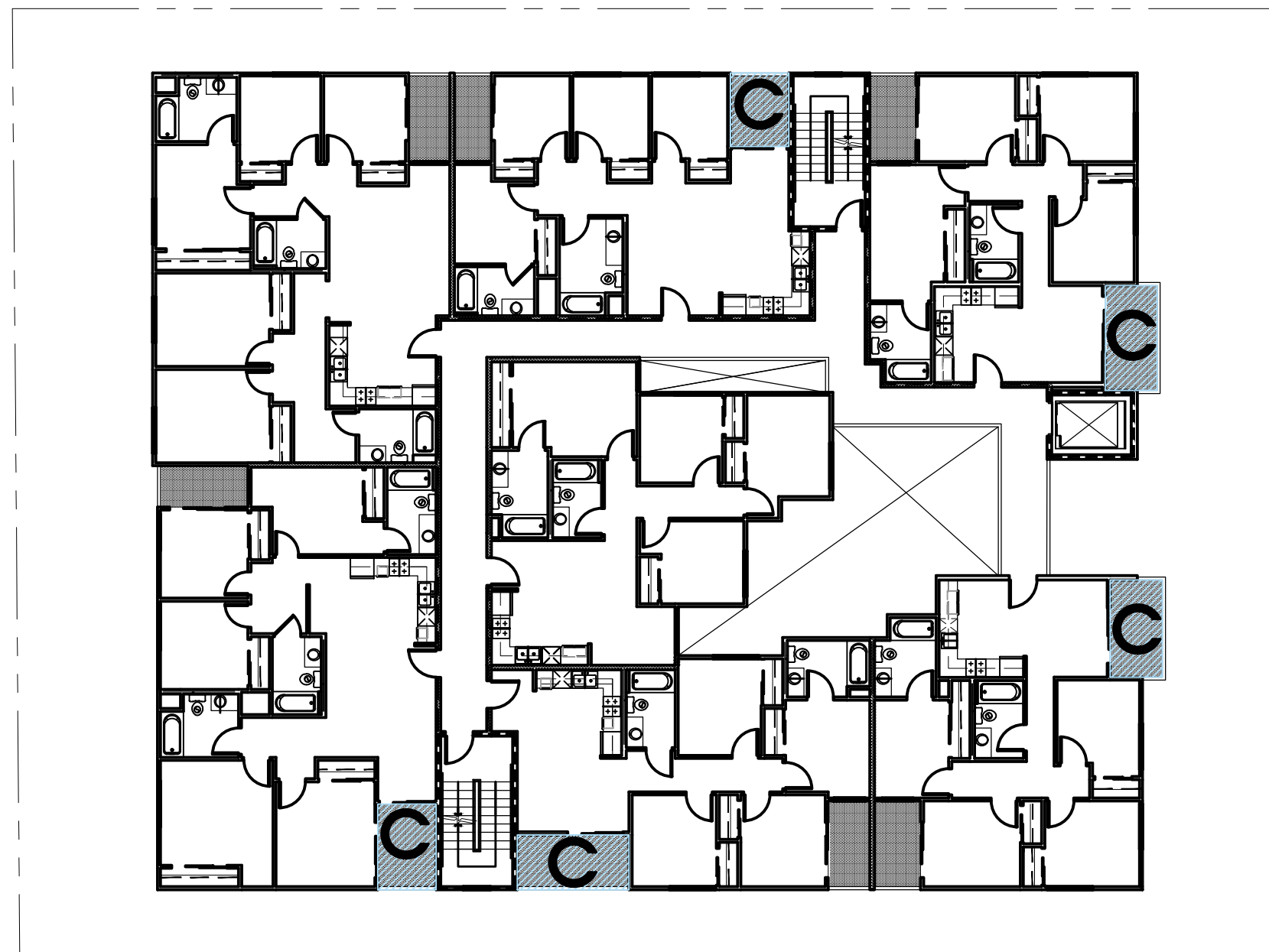
1 SITE PLAN



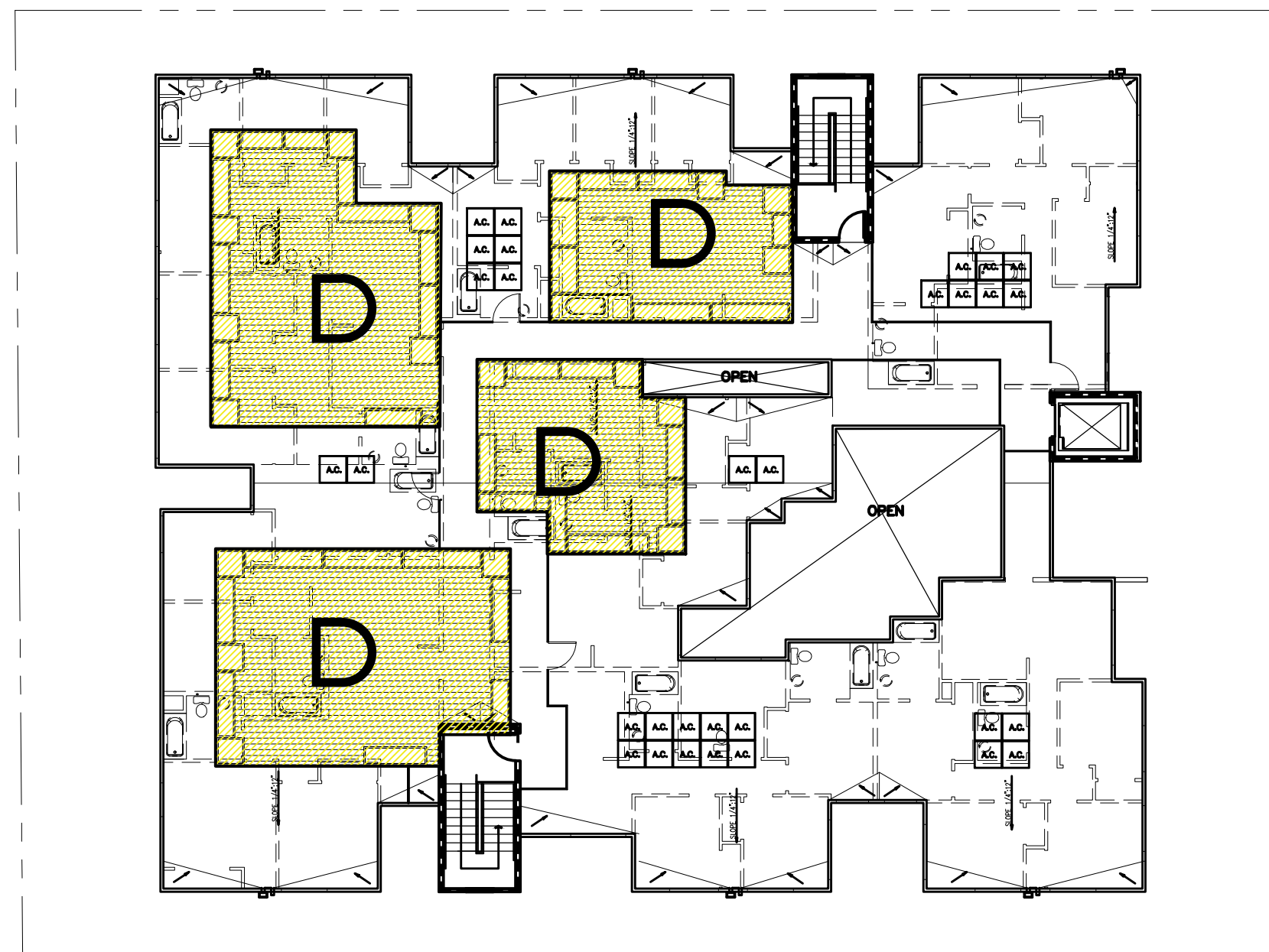
2 2ND-FLOOR PLAN



3 3RD-FLOOR PLAN



4 4TH-5TH FLOOR PLAN



5 ROOF FLOOR PLAN

42ND PLACE

OPEN SPACE REQUIRED			
ROOM COUNT	# OF UNITS	UNIT NET AREA	
2 BDRM 2 BATH	2 X 125 SQ.FT.	250 SQ. FT.	
3 BDRM 2 BATH	5 X 175 SQ.FT.	875 SQ. FT.	
4 BDRM 2 BATH	20 X 175 SQ.FT.	3,500 SQ. FT.	
5 BDRM 3 BATH	4 X 175 SQ.FT.	700 SQ. FT.	
TOTAL		5,325 SQ. FT.	

OPEN SPACE PROVIDED				
PRIVATE			UNIT NET AREA	
BALCONY(C)	22	X	50 SQ.FT.	1,100 SQ.FT.
PUBLIC			UNIT NET AREA	
REAR YARD (A)			1,546 SQ.FT	
COURTYARD (B)			439 SQ.FT	
ROOF(D)	734+734+428+427=		2,323 SQ.FT	
TOTAL			5,408 SQ.FT	



12850 REVERSIDR DR. SUITE 100  
VALLEY VILLAGE, CA 91607  
TEL: (818) 367-8632  
E MAIL: BOAZ@KETTERDESIGNS.COM

AS BUILT DRAWING NO.	DATE	DESCRIPTION	DRAWN BY	CHECKED BY	DATE
10					
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NO.	DATE	ISSUED FOR	1 ST. P.C. SUB.

31 UNITS APARTMENT  
836 WEST 42ND PLACE  
LOS ANGELES, CA. 90037

18-063  
PROJECT NO.  
SHEET NO.  
A2.1  
1/20/2020



12650 REVERSIDR. SUITE 100  
VALLEY VILLAGE, CA 91607  
TEL: (818) 387-8832  
E-MAIL: BOAZ@KETTERDESIGNS.COM

AS BUILT	NO.	DATE	DESCRIPTION
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REVISIONS

NO. DATE DESCRIPTION

NO.	DATE	ISSUED FOR	BY
1		1 ST. P.C. SUB	

31 UNITS APARTMENT

836 WEST 42ND PLACE  
LOS ANGELES, CA. 90037

18-063

PROJECT NO. 836 WEST 42ND PLACE

CLIENT

A30

- NOTES:**
- THIS PLAN TO BE READ IN CONJUNCTION WITH THE OTHER SHEETS IN THIS SET.
  - ALL EXIT DOORS AND ESCAPES SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
  - GLAZED OPENING WITHIN 40" OF THE DOOR LOCK IN CLOSED POSITION SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLES HAVING A MAXIMUM OPENING OF 2".
  - ALL STEPS AND STAIRS SHALL BE PROVIDED WITH 2'-10" HIGH HANDRAIL.
  - VENTILATION SHALL BE PROVIDED CAPABLE OF EXHAUSTING A MINIMUM OF 1.5 CFM PER SQ. FT. OF GROSS FLOOR AREA.
  - THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE.
  - THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS:
    - aisles and unclosed egress stairways in rooms and spaces that require two or more means of egress.
    - corridors, exit enclosures and exit passageways in buildings required to have two or more exits.
    - exterior egress components at other than the level of exit discharge is accomplished for buildings required to have two or more exits.
    - interior exit discharge elements, as permitted in SECTION 1024.1, in buildings required to have two or more exits.
    - exterior landings, as required by SECTION 1008.1.5, for exit discharge doorways in buildings required to have two or more exits.
  - ALL RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE OF AN ADJACENT NEIGHBOR THAN THE HEIGHT OF THE WALL SHALL REQUIRE THE PLACEMENT OF THE REQUIRED BACKFILL NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND THE NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.
  - INTERNATIONAL H/C SYMBOL SIGN, SEE DETAIL 1 SHEET D-7
  - DRIVEWAY TO BE CONSTRUCTED TO L.A. STANDARD PLAN S-440-3.
  - PROVIDE COLLISION BARRIERS ADEQUATE TO PROTECT CORRIDOR METERS REGULATORS AND PIPING FOR HAZARDOUS MATERIALS THAT ARE EXPOSED TO VEHICULAR DAMAGE.
  - WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 AND THE EXTERIOR OPENINGS ARE PROTECTED BY A WATER CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THAT USE. (SECTION 705.8.2) EXCEPTION).
  - THE FIRE RESISTANCE RATING OF BUILDING ELEMENTS, COMPONENTS OR ASSEMBLIES SHALL BE DETERMINED IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN ASTM E 119 OR UL 263 OR IN ACCORDANCE WITH SECTION 703.3.
  - DOUBLE STRIPPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.
  - 5/8" TYPE X GYPSUM BOARD FURRING OVER RESILIENT CHANNEL AT 16" ON CENTERS, REFER TO DETAILS.
  - PROVIDE SUB DRAIN PIPE ALL AROUND THE GARAGE PERIMETER.
  - THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM.
  - ALL ELEVATOR PITS SHALL BE EQUIPPED WITH A DRAIN TO PREVENT THE ACCUMULATION OF WATER. THE WATER AND OTHER LIQUIDS COLLECTED IN THE BOTTOM OF AN ELEVATOR SHAFT, MAY NOT BE DISCHARGED TO THE SANITARY SEWER OR STORM DRAIN. SEE PLUMBING INFORMATION BULLETIN P/PC 2002-004.

- KEY NOTES:**
- 8" MASONRY WALL. PROVIDE WATER PROOFING WITH PROJECTION BOARD (LA CITY R.R. NO 24174) FOR EXTERIOR GARAGE WALLS REFER TO STRUCTURAL DRAWINGS FOR DETAILS AND REINFORCEMENTS.
  - BUILDING LINE ABOVE.
  - STEEL COLUMN. REFER TO STRUCTURAL AND FIREPROOFING DETAILS.
  - 12" X 12" AREA DRAIN. PROVIDE DRAIN PIPES TO STREET. DRAIN TO BE CONDUCTED UNDER THE SIDEWALK.
  - CONTINUOUS TRENCH DRAINED TO SUMP PIT.
  - SPRINKLER HEAD (TYPE 903.2.7, 504.2, 506.3) TO BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION. LOCATION OF EXHAUST DUCT.
  - SUMP PUMP WITH OIL SEPARATION.
  - 30" X 30" SUMP PIT WITH DUALSUMP PUMP. OUTLET PIPE SHALL BE CONNECTED TO STREET DRAIN TO BE CONDUCTED UNDER THE SIDEWALK.
  - LOCATION OF DESCRIPTIVE DIAGRAM INDICATING LOCATION OF ALL UNITS.
  - NEW RESIDENTIAL BUILDINGS WITH COMMON PARKING AREA(S), SHALL PROVIDE ELECTRICAL VEHICLE CHARGING AS FOLLOWS:
    - FOR RESIDENTIAL OCCUPANCIES WHICH HAVE A COMMON PARKING AREA, AT LEAST 5% OF THE TOTAL PARKING SPACES, BUT NOT LESS THAN ONE, SHALL BE CAPABLE OF SUPPORTING FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE).
    - THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT FULL RATED AMPERAGE BASED ON LEVEL 2 EVSE. SEPARATE ELECTRICAL PERMIT IS REQUIRED.
    - A LABEL STATING "EV CAPABLE" SHALL BE POSTED IN A CONSPICUOUS PLACE AT THE SERVICE PANEL OR SUB-PANEL AND THE EV CHARGING SPACE.
    - OUTLETS SHALL BE 208/240 40 AMP GROUNDED AC OUTLET(4.106.6) BATTERY CHARGER OUTLET.
  - LONG TERM BICYCLE PARKING (VERTICAL RACK)
  - SHORT TERM BICYCLE PARKING
  - FENCE ENCLOSURE FOR BICYCLES-SEE SHEET D-8 DETAIL #7.
  - HANDICAP SIGN SUSPENDED FROM CEILING.
  - PLANTER ON GRADE MAXIMUM 3'-6" HIGH AT FRONT YARD. REFER TO STRUCTURAL DRAWINGS FOR DETAILS AND REINFORCEMENTS.
  - ROLL DOWN GATE.
  - STUCCO FINISH

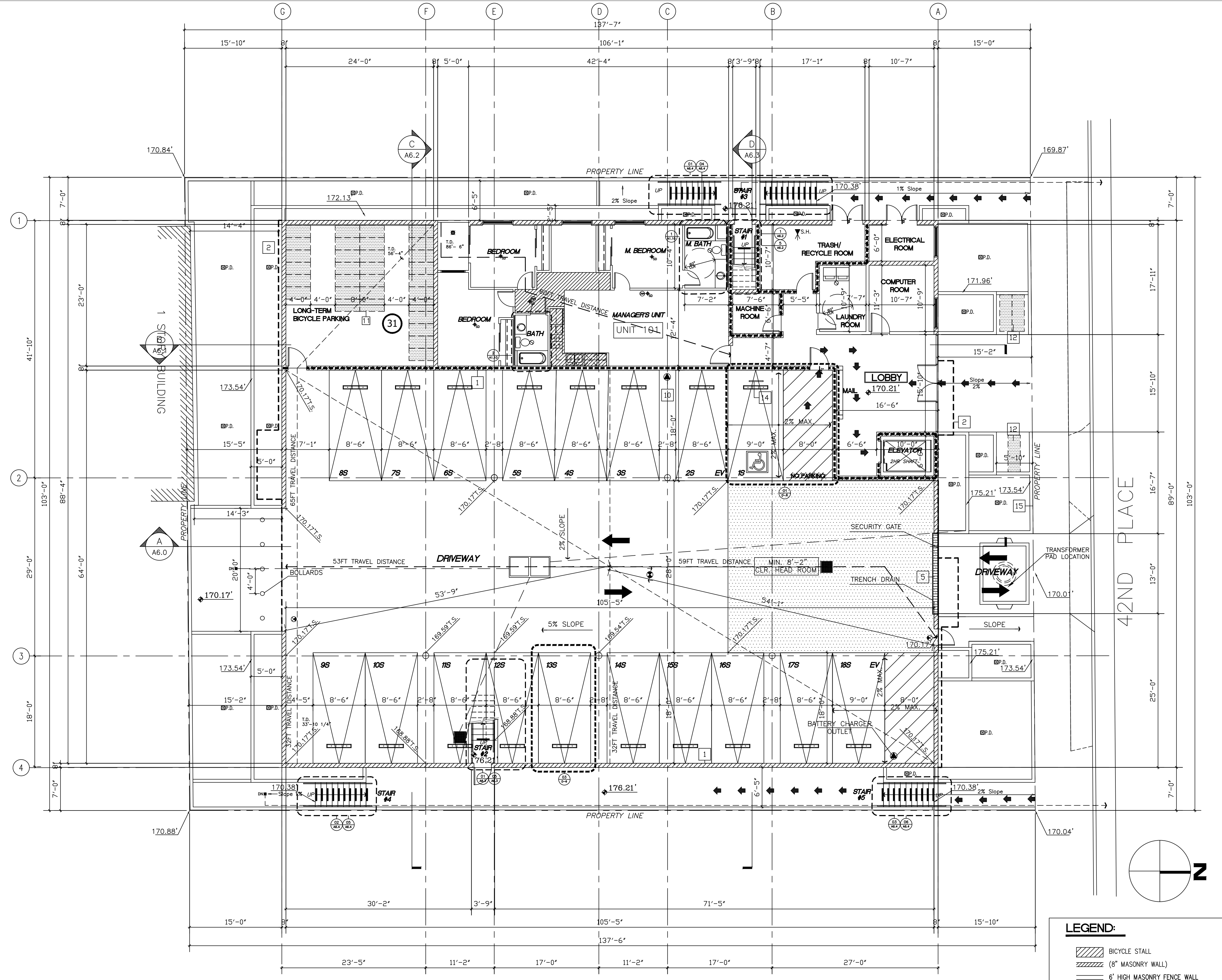
**LEGEND:**

	BICYCLE STALL
	(8" MASONRY WALL)
	6" HIGH MASONRY FENCE WALL
	EXIT SIGN
	W.C. WATER CURTAIN (PER P/BC 2014.106)
	MIN. 8'-2" CLR. HEAD ROOM
	BATTERY CHARGER OUTLET
	COMMON PATH OF EGRESS
	EXIT ACCESS PATH
	ACCESSIBLE ROUTE
	3 HR SEPARATION WALL

**AUTOMOBILE PARKING TABULATION**

17 STANDARD	1 H/C
18 PARKING STALLS	
3 BEDROOM	1 UNITS
TOTAL	1 UNITS

**STREET FLOOR PLAN**  
3/16" = 1'-0"





12850 RIVERSIDE DR. SUITE 100  
VALLEY VILLAGE, CA 91607  
TEL: (818) 367-9832  
E-MAIL: BOAZ@KETTERDESIGNS.COM

AS BUILT DRAWING NO.	DATE	DESCRIPTION	DRAWN BY	CHECKED BY	DATE
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**2ND FLOOR PLAN**  
1/8"=1'-0"

**31 UNITS APARTMENT**  
836 WEST 42ND PLACE  
LOS ANGELES, CA. 90037

PROJECT CLIENT

**18-063**

PROJECT NO. 18-063  
SHEET NO. A3.2

10/17/2019



**LEGEND:**

- STAIRS-ELEVATOR
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOMS

**1 2ND FLOOR PLAN**  
3/16" = 1'-0"



12850 RIVERSIDE DR. SUITE 100  
VALLEY VILLAGE, CA 91607  
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1 3RD FLOOR PLAN  
3/16" = 1'-0"

**LEGEND:**

- STAIRS-ELEVATOR
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOMS

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**REVISIONS**

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NO.	DATE	ISSUED FOR
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**3RD FLOOR PLAN**  
3/16"=1'-0"

**31 UNITS APARTMENT**  
836 WEST 42ND PLACE  
LOS ANGELES, CA. 90037

PROJECT CLIENT

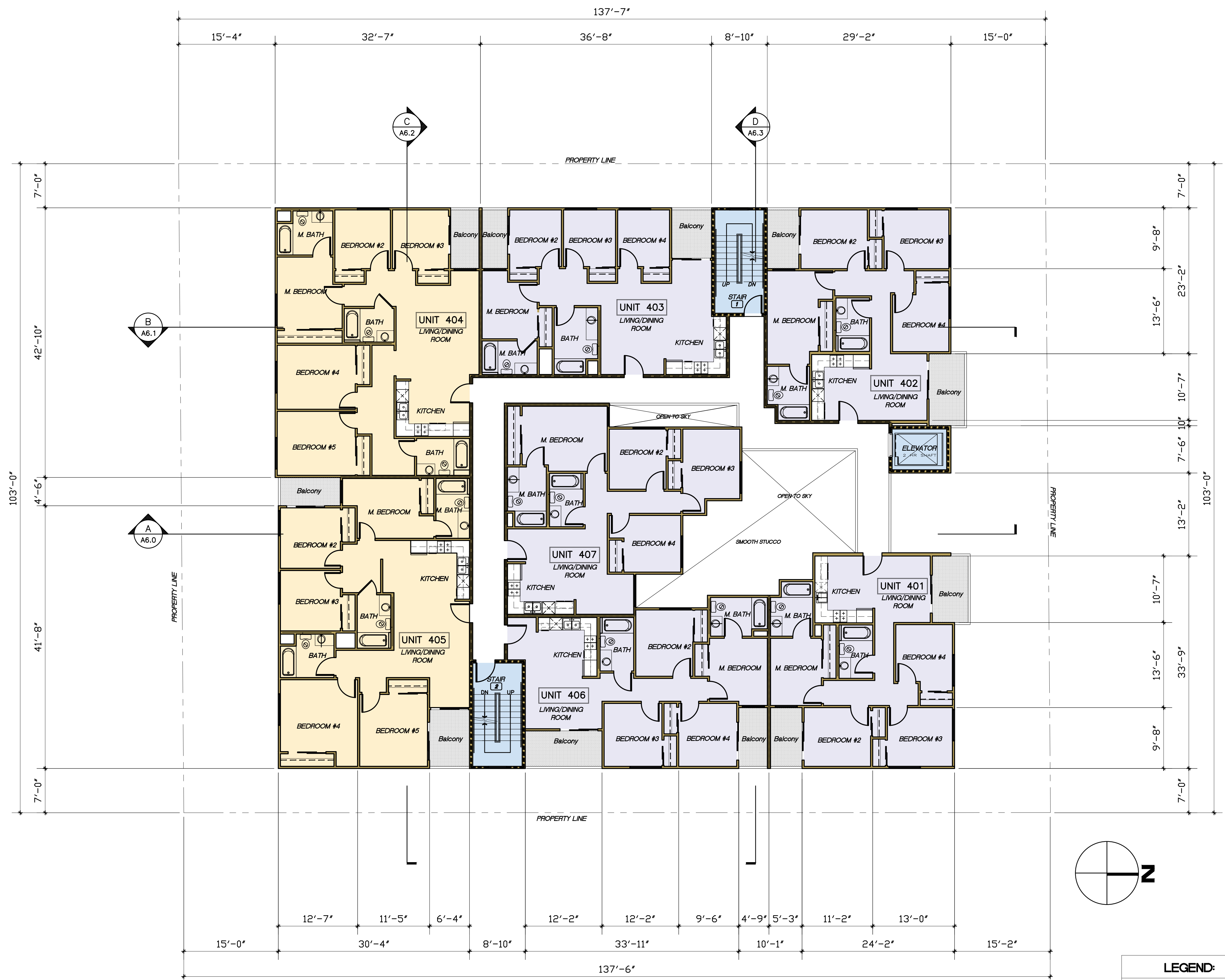
18-063

PROJECT NO.  
SHEET NO.

**A3.3**

10/16/2019





1 4TH FLOOR PLAN  
1/8" = 1'-0"

**LEGEND:**

	STAIRS-ELEVATOR
	4 BEDROOMS
	5 BEDROOM



12850 RIVERSIDE DR. SUITE 100  
VALLEY VILLAGE, CA 91607  
TEL: (818) 367-9832  
E MAIL: BOAZ@KETTERDESIGNS.COM

AS BUILT	DRAWING NO.	DATE	DESCRIPTION	DRAWN BY	CHECKED BY	DATE
	10					
	09					
	08					
	07					
	06					
	05					
	04					
	03					
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	01					

**REVISIONS**

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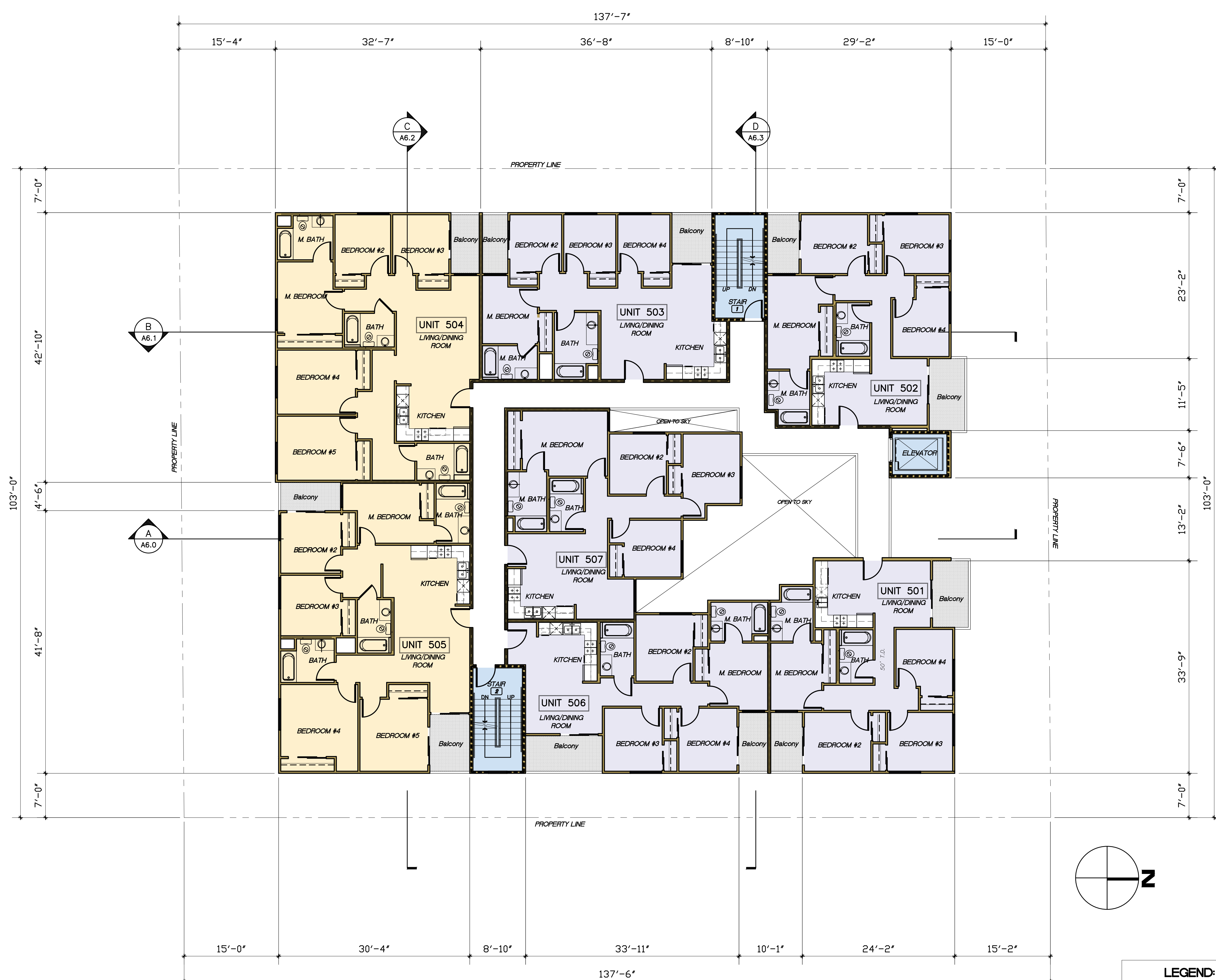
NO.	DATE	ISSUED FOR
1		1 ST. P.C. SUB.

**4TH FLOOR PLAN**  
1/8" = 1'-0"

**31 UNITS APARTMENT**  
836 WEST 42ND PLACE  
LOS ANGELES, CA. 90037

PROJECT CLIENT

18-063  
PROJECT NO.  
SHEET NO.  
**A3.4**  
10/16/2019



1 5TH FLOOR PLAN  
1/8" = 1'-0"

**LEGEND:**

	STAIRS-ELEVATOR
	4 BEDROOMS
	5 BEDROOM



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AS BUILT	NO.	DATE	DESCRIPTION	DRAWN BY:	CHECKED BY:	DATE:
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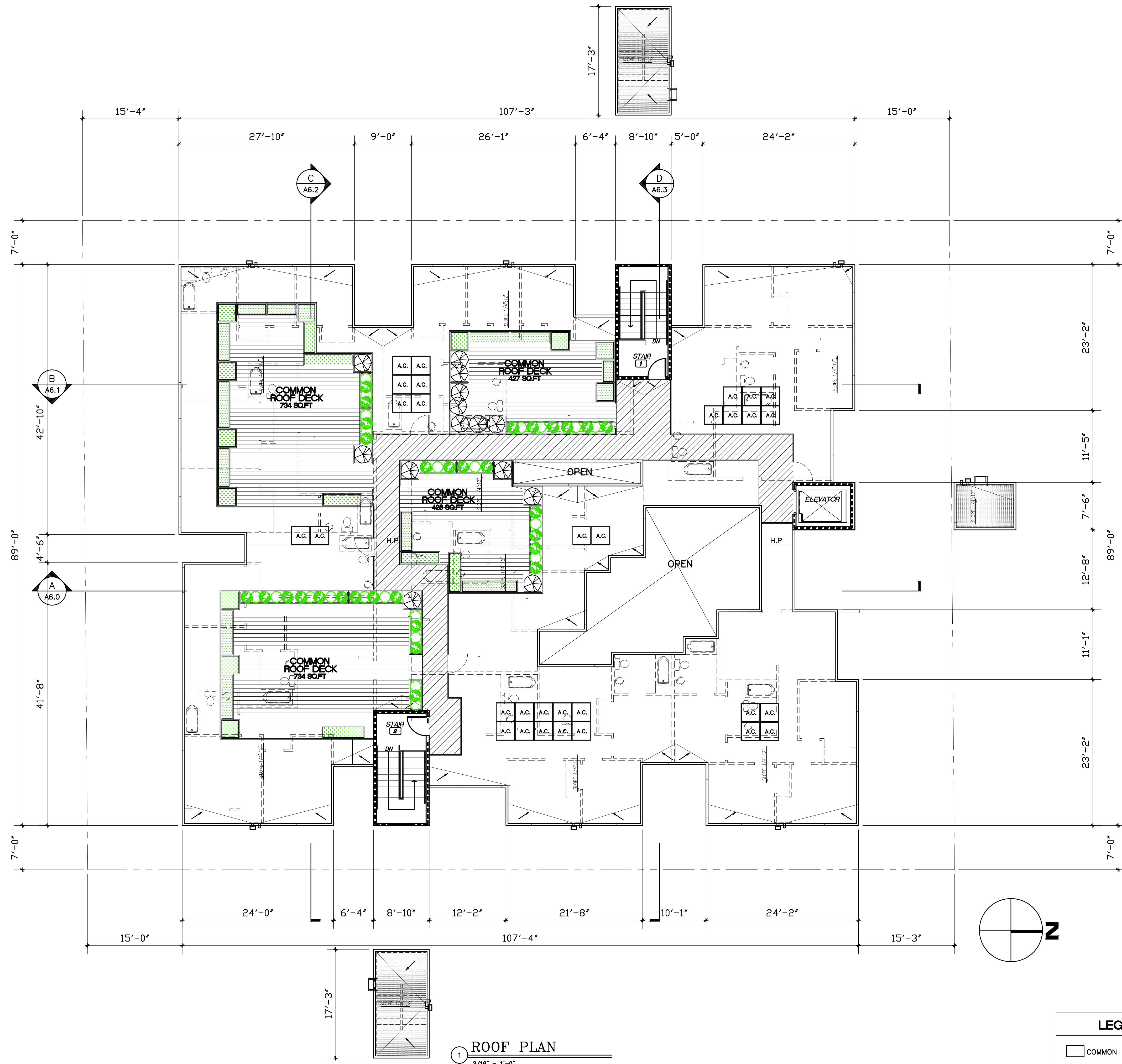
NO.	DATE	ISSUED FOR
1		1 ST. P.C. SUB.

**5TH FLOOR PLAN**  
1/8" = 1'-0"

**31 UNITS APARTMENT**  
836 WEST 42ND PLACE  
LOS ANGELES, CA. 90037

PROJECT CLIENT

18-063  
PROJECT NO.  
SHEET NO.  
**A3.5**  
10/16/2019



1 ROOF PLAN  
3/16" = 1'-0"

**LEGEND:**

	COMMON ROOF AREA
	LANDSCAPE



12650 RIVERSIDE DR. SUITE 100  
VALLEY VILLAGE, CA 91607  
TEL: (818) 367-8832  
E-MAIL: BOAZ@KETTERDESIGNS.COM

AS BUILT DRAWING NO.	DATE	DESCRIPTION	DATE	CHECKED BY	DATE
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09					
08					
07					
06					
05					
04					
03					
02					
01					

REVISIONS

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NO.	DATE	ISSUED FOR
1		ST. P.C. SUB.

**ROOF PLAN**  
3/16" = 1'-0"

**31 UNITS APARTMENT**  
836 WEST 42ND PLACE  
LOS ANGELES, CA. 90037

PROJECT CLIENT

18-063

PROJECT NO.  
SHEET NO.

**A4.0**

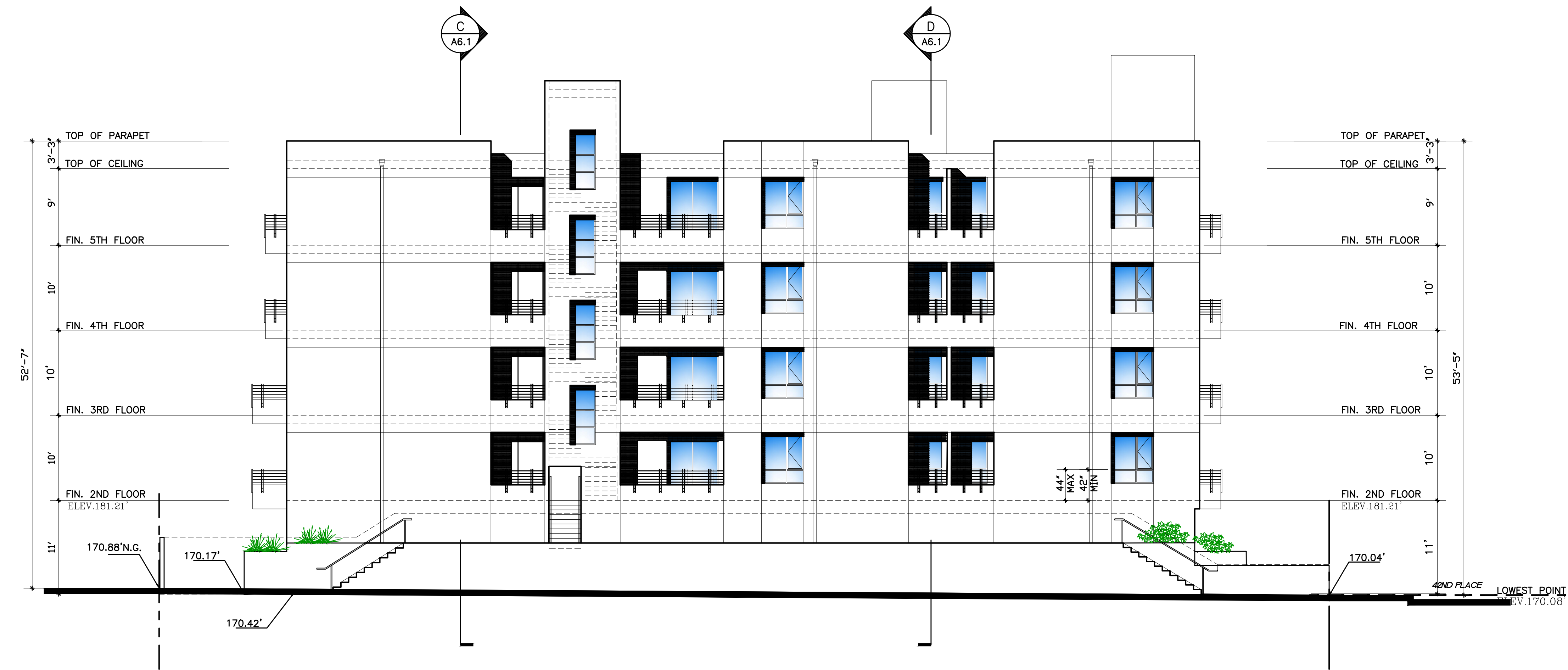
10/29/2019



12850 REVERSIDR DR. SUITE 100  
 VALLEY VILLAGE, CA 91607  
 TEL: (818) 367-8632  
 E-MAIL: BOAZ@KETTERDESIGNS.COM



1 NORTH ELEVATION (42ND PLACE)  
 1/8" = 1'-0"



2 EAST ELEVATION  
 1/8" = 1'-0"

NO.	DATE	ISSUED FOR	DESCRIPTION
1.0		1 ST. P.C. SUB.	
0.9			
0.8			
0.7			
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REVISIONS

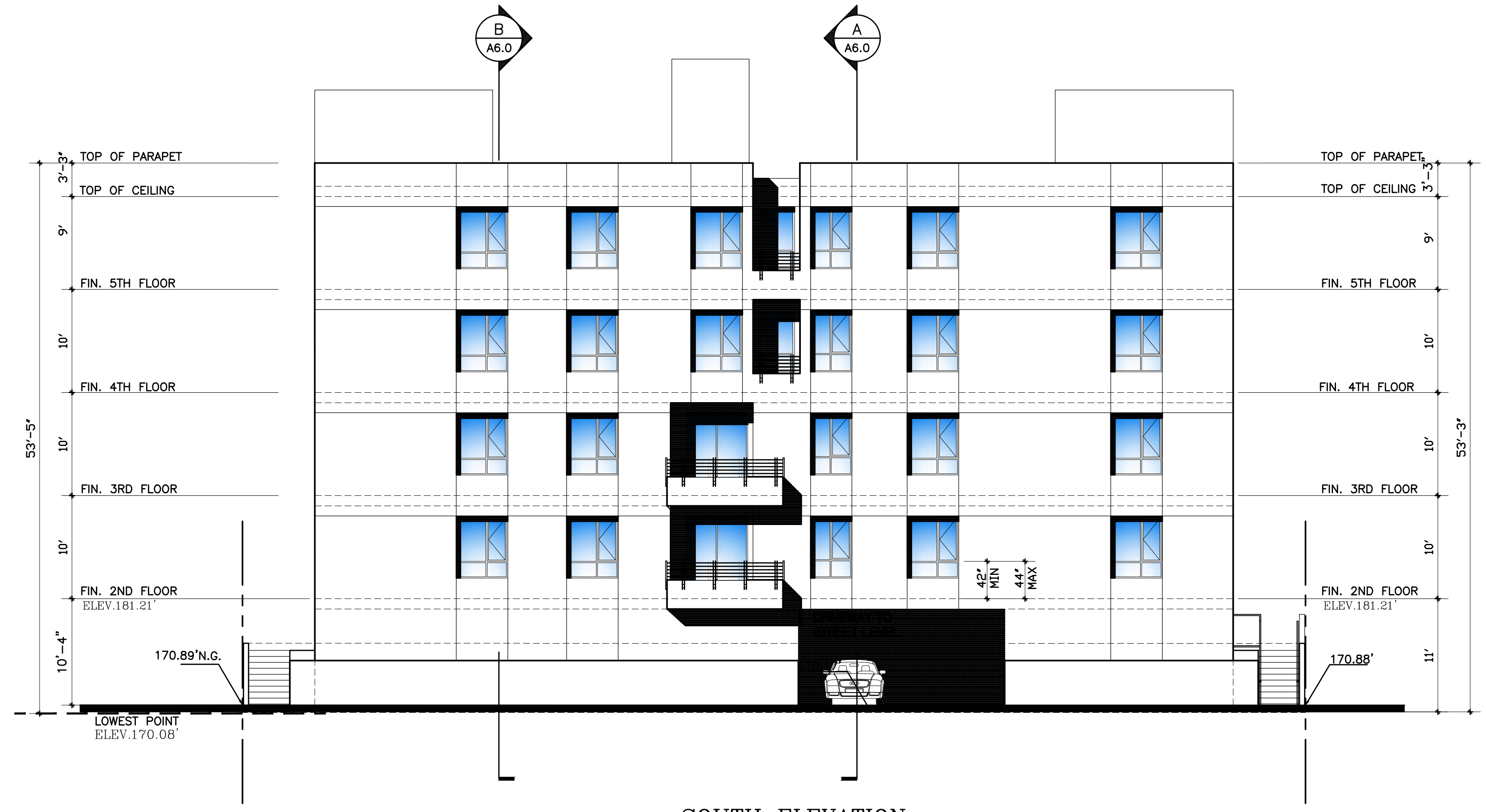
NO.	DATE	ISSUED FOR	DESCRIPTION
1.0		1 ST. P.C. SUB.	

31 UNITS APARTMENT  
 836 WEST 42ND PLACE  
 LOS ANGELES, CA. 90037

18-063  
 PROJECT NO.  
 SHEET NO.  
 A50



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 VALLEY VILLAGE, CA 91607  
 TEL: (818) 367-8832  
 E-MAIL: BOAZ@KETERDESIGNS.COM



3 SOUTH ELEVATION  
 1/8" = 1'-0"



4 WEST ELEVATION  
 1/8" = 1'-0"

NO.	DATE	ISSUED FOR	DESCRIPTION	DATE	CHECKED BY	DATE
1		1 ST. P.C. SUB.				

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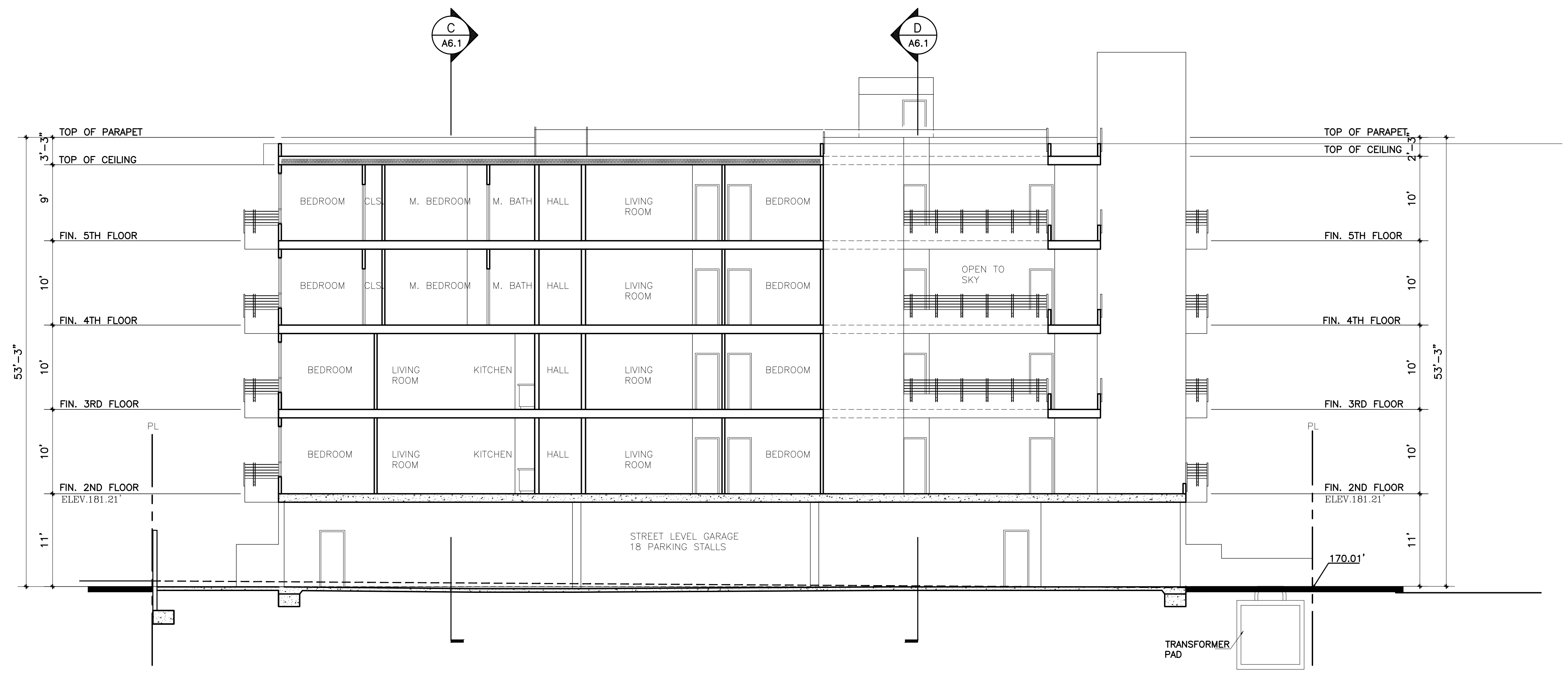
PROJECT CLIENT

31 UNITS APARTMENT  
 836 WEST 42ND PLACE  
 LOS ANGELES, CA. 90037

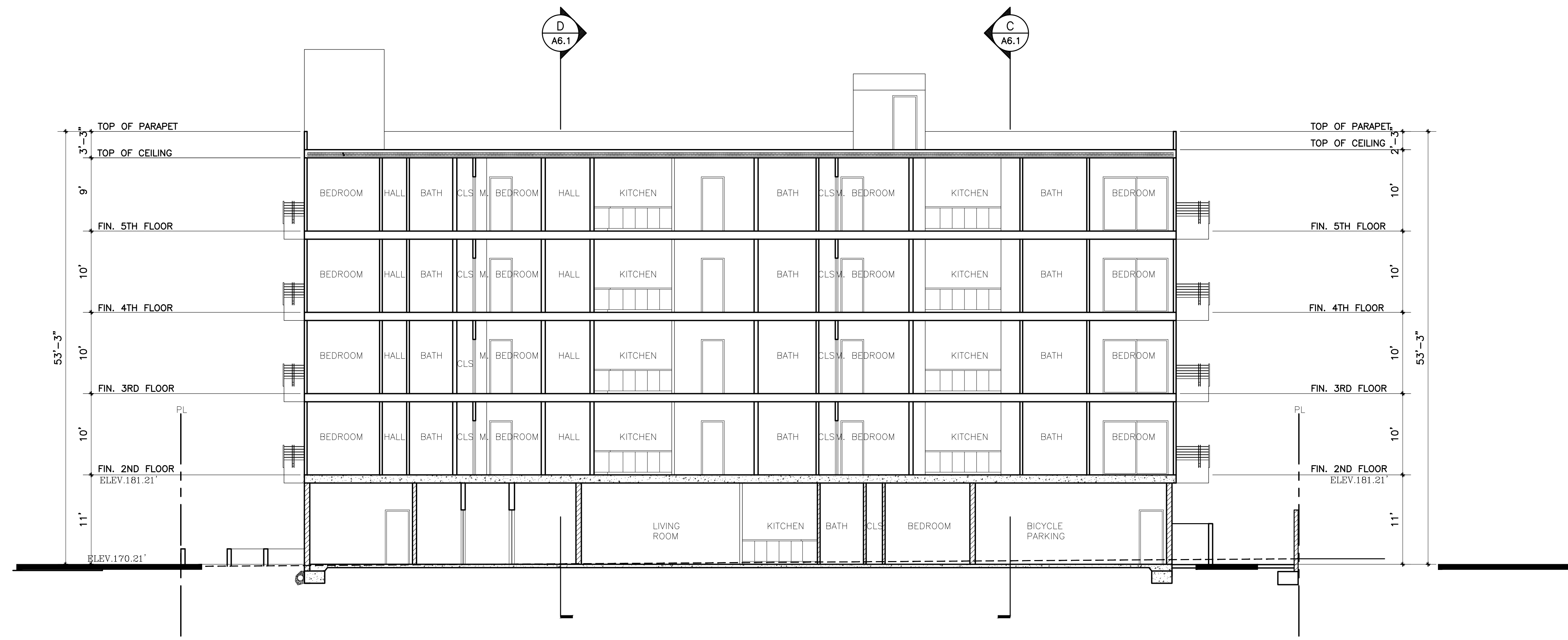
PROJECT NO.  
 SHEET NO.  
**A51**



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 VALLEY VILLAGE, CA 91607  
 TEL: (818) 367-8832  
 E-MAIL: BOAZ@KETTERDESIGNS.COM



1 SECTION A-A  
 1/8" = 1'-0"



2 SECTION B-B  
 1/8" = 1'-0"

NO.	DATE	ISSUED FOR	DESCRIPTION	DATE	CHECKED BY	DATE
1		1 ST. P.C. SUB				

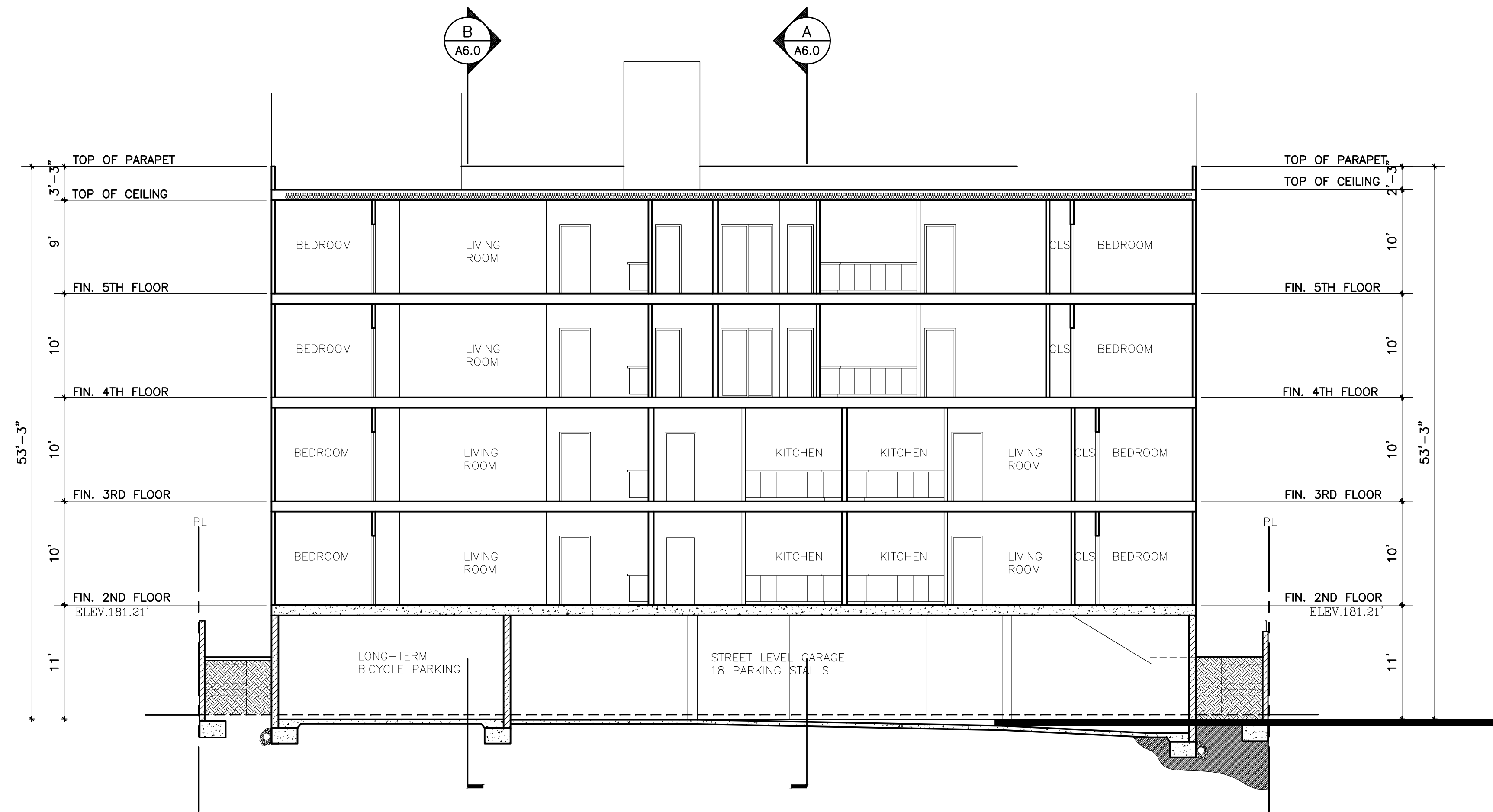
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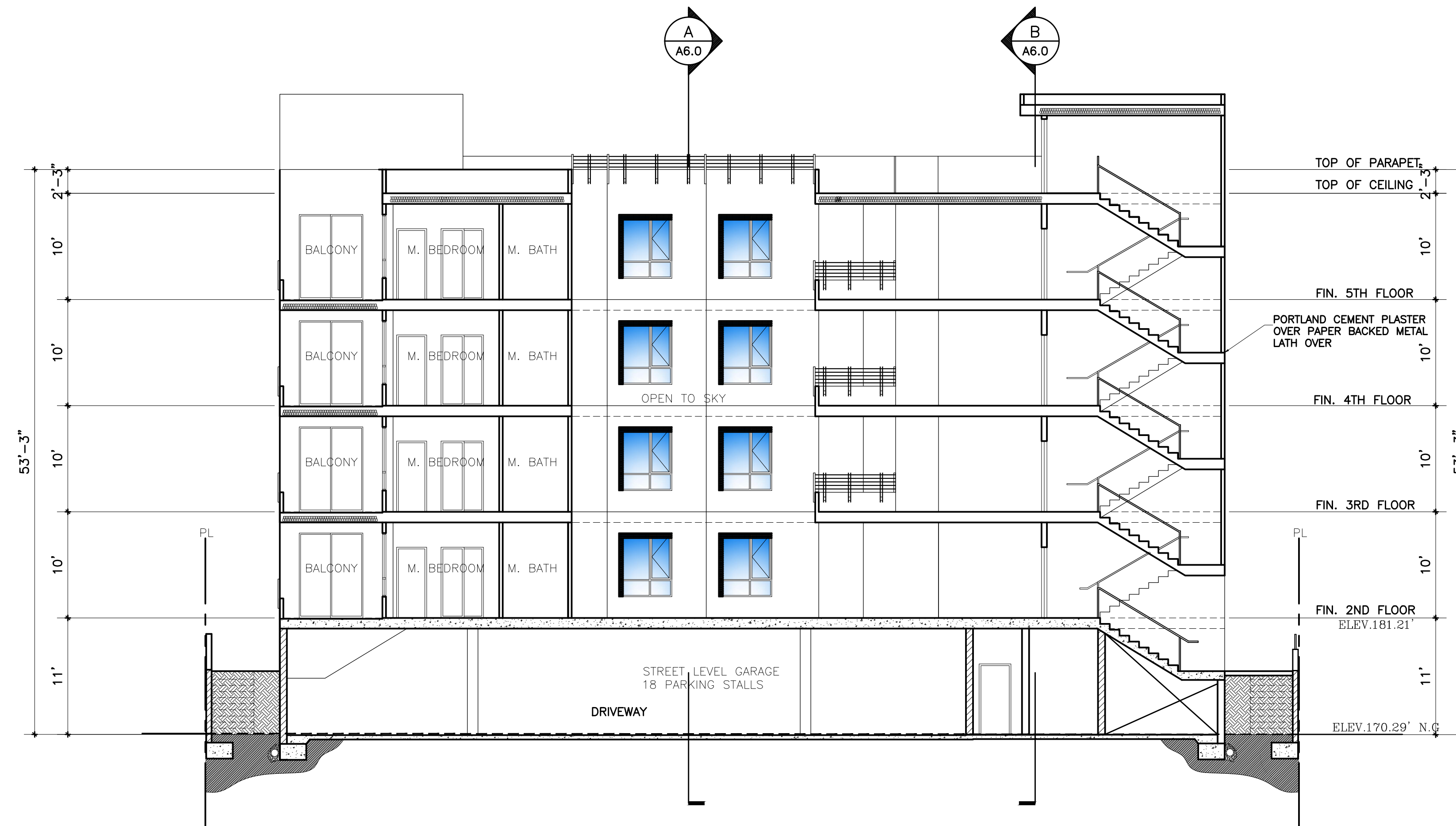
NO.	DATE	ISSUED FOR	DESCRIPTION
1		1 ST. P.C. SUB	

**31 UNITS APARTMENT**  
 836 WEST 42ND PLACE  
 LOS ANGELES, CA. 90037

PROJECT NO. 18-063  
 UNIT NO. A6.0  
 10/16/2019



3 SECTION C-C  
1/8" = 1'-0"



4 SECTION D-D  
1/8" = 1'-0"



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NO.	DATE	DESCRIPTION	DATE	CHECKED BY:	DATE
1.0					
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NO.	DATE	ISSUED FOR	BY
1		1 ST. P.C. SUB.	
2			
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BUILDING SECTIONS

31 UNITS APARTMENT  
836 WEST 42ND PLACE  
LOS ANGELES, CA. 90037

18-063  
PROJECT NO.  
SHEET NO.  
A6.1



12650 RIVERSIDE DR. SUITE 100  
VALLEY VILLAGE, CA 91607  
TEL : (818) 387-8832  
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NO.	DATE	DESCRIPTION	DATE	CHECKED BY	DATE
1	09/25/19	SCHEMATIC			

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NO.	DATE	ISSUED FOR
1	9/25/2019	SCHEMATIC

**31 UNITS APARTMENT**  
836 WEST 42ND PLACE  
LOS ANGELES, CA. 90037

18-063  
PROJECT NO. 18-063  
CLIENT NO. L10  
9/25/2019

### PLANTING LEGEND

Symbol	Botanical Name/Common Name	Quantity	Size	WUCOLS	Remarks	Size At Maturity	Time to Maturity
<b>TREES</b>							
	Acer palmatum 'Bloodgood' / Japanese Maple	4	24" Box	M	multi-trunk	5'H x 5'W	
	Cercis occidentalis / Western redbud	6	36" Box	L		10'H x 10'W	
	Street trees per City of Los Angeles	2	24" Box	n/a			
<b>SHRUBS</b>							
	Calamagrostis acutiflora 'Karl Foerster' / Feather reed grass, @ 30" o.c.	x	5g	M		4'H x 3'W	
	Justicia brandegeana / Shrimp plant @ 24" o.c.	x	5g	M		3'H x 3'W	
	Leymus condensatus 'Canyon Prince' / Canyon rye grass, @ 30" o.c.	x	1g	L		3'H x 3'W	
	Philodendron 'Xanadu' / Compact philodendron @ 24" o.c.	x	5g	M		3'H x 3'W	
	Westringia fruticosa / Coast rosemary @ 36" o.c.	x	5g	L		4'H x 5'W	
<b>VINES</b>							
	Hardenbergia violacea 'Happy Wanderer' @ 60" o.c.	x	5g	L			
<b>GROUND COVER</b>							
	Asparagus densiflorus 'Myers' / Foxtail asparagus x sf @ 18" o.c. = x plants	x	1g	M		18"H x 24"W	
	Dymondia margaretae / Dymondia x sf @ 4" o.c. = x plants	x	flat	L		6"H x 18"W	
	Juncus patens / California gray rush x sf @ 12" o.c. = x plants	x	1g	L		18"H x 18"W	
	Lantana montevidensis 'Alba' / White trailing lantana x sf @ 18" o.c.	x	flat	L		2'H x 4'W	
	Rosmarinus prostrata / Trailing rosemary x sf @ 9" o.c. = x plants	x	flat	L		2'H x 4'W	

### AREA SUMMARY

TOTAL LOT AREA = APPROX. 14,170 SF  
 POTENTIAL LANDSCAPE AREA: 14,170 SF (TOTAL LOT) - 9,500 SF (BUILDING) = 4,670 SF  
 LANDSCAPE AREA OF PROJECT NOT INCLUDING PARKWAY = 1,876 SF

OPEN SPACE AREA PER ARCHITECT'S DRAWING = 2,855 SF

2ND FLOOR COURTYARD	535 SF
ROOF COURTYARD 'A'	427 SF
ROOF COURTYARD 'B'	734 SF
ROOF COURTYARD 'C'	733 SF
ROOF COURTYARD 'D'	426 SF

REQUIRED LANDSCAPE AREA OF OPEN SPACE = 715 SF (25% OF OPEN SPACE)

2ND FLOOR COURTYARD	134 SF
ROOF COURTYARD 'A'	107 SF
ROOF COURTYARD 'B'	184 SF
ROOF COURTYARD 'C'	183 SF
ROOF COURTYARD 'D'	107 SF

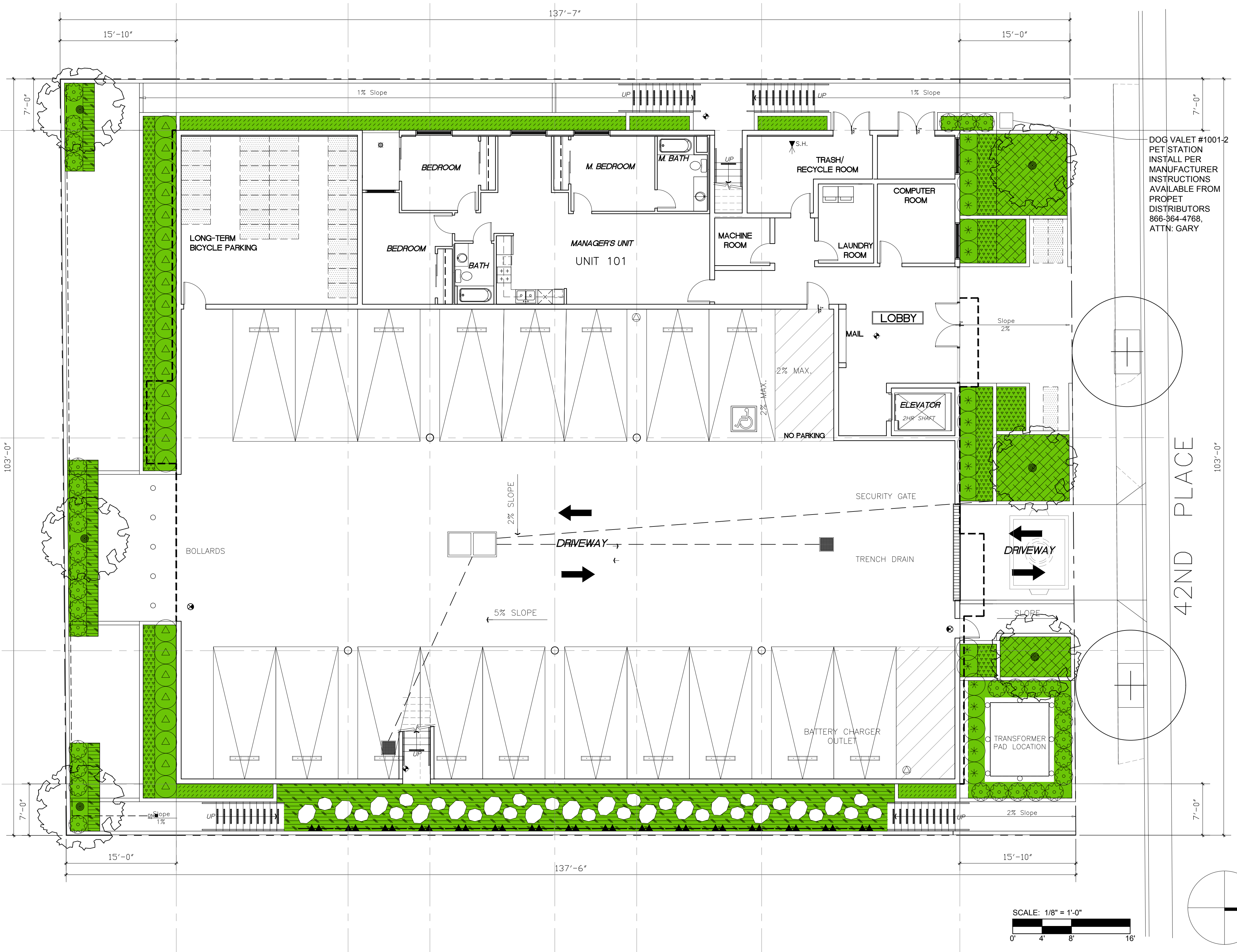
PROVIDED LANDSCAPE AREA OF OPEN SPACE = 894 SF (31% OF OPEN SPACE)

2ND FLOOR COURTYARD	168 SF (31%)
ROOF COURTYARD 'A'	179 SF (42%)
ROOF COURTYARD 'B'	197 SF (27%)
ROOF COURTYARD 'C'	193 SF (26%)
ROOF COURTYARD 'D'	157 SF (37%)

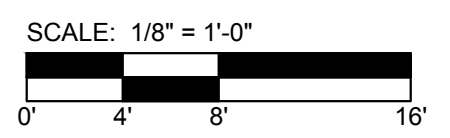
FRONT YARD LANDSCAPE = 630 SF  
 (1 TREE / 500 SF) REQUIRED = 630 SF / 500 SF = 1.3 TREES  
 TREES PROVIDED = 3 (230%)

(1 TREE/4 UNITS) REQUIRED = 31 / 4 = 8 TREES  
 TREES PROVIDED = 10 (125%)

REAR YARD = 1,545 SF  
 LANDSCAPE AREA OF REAR YARD = 520 SF (34% OF REAR YARD)



DOG VALET #1001-2  
 PET STATION  
 INSTALL PER  
 MANUFACTURER  
 INSTRUCTIONS  
 AVAILABLE FROM  
 PROPET  
 DISTRIBUTORS  
 866-364-4768,  
 ATTN: GARY



COURTLAND STUDIO, LLC  
 505 E Colorado Blvd. Mezz C  
 Pasadena CA 91101  
 P: 818-788-9382  
 F: 818-788-3217  
 Licensed Landscape Architect #3520





12650 RIVERSIDE DR. SUITE 100  
VALLEY VILLAGE, CA 91607  
TEL: (818) 387-8832  
E-MAIL: BOAZ@KETTERDESIGNS.COM

NO.	DATE	DESCRIPTION	DATE	CHECKED BY	DATE
1.0					
0.9					
0.8					
0.7					
0.6					
0.5					
0.4					
0.3					
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REVISIONS

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1	9/25/2019		

2ND FLOOR LANDSCAPE

31 UNITS APARTMENT  
836 WEST 42ND PLACE  
LOS ANGELES, CA. 90037

18-063  
PROJECT NO.  
SHEET NO.  
L1.1

PLANTER BOX SIZE SCHEDULE:

SYM.	DIMENSIONS	QTY
A	L 36" X W 36" X H 36"	4
B	L 60" X W 36" X H 24"	2
C	L 72" X W 36" X H 24"	2
D	L 96" X W 36" X H 24"	4
E	L 108" X W 36" X H 24"	1

PLANTER BOX COLOR TO BE DETERMINED BY ARCHITECT.

TYPICAL PLANTER BOX COUPLING SCHEDULE

PLANTER TYPE	COUPLING QUANTITY	
	2"Ø PVC SCH.40 DRAIN OUTLET	1"Ø PVC SCH.40
A	4	16
B	2	8
C	2	8
D	4	16
E	1	4
TOTAL	13	52

PLANTERS AVAILABLE FROM:  
OLD TOWN FIBERGLASS  
456 SOUTH MONTGOMERY WAY  
ORANGE, CA 92868-4015  
TEL: 714-633-3732  
FAX: 714-633-3917  
EMAIL: INFO@OLDTOWNFIBERGLASS.COM  
ATTN: JOAN

2ND FLOOR PLANTER BOX COUPLING LAYOUT

SCALE: N.T.S.



42ND PLACE

TREES



Acer palmatum 'Bloodgood' / Japanese Maple



Cercis occidentalis / Western redbud

SHRUBS



Calamagrostis acutiflora 'Karl Foerster' / Feather reed grass



Justicia brandegeana / Shrimp plant



Leymus condensatus 'Canyon Prince' / Canyon rye grass



Philodendron 'Xanadu' / Compact philodendron



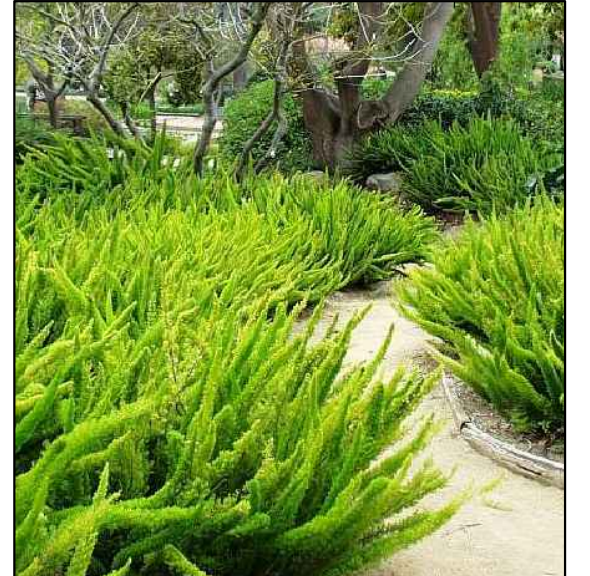
Westringia fruticosa / Coast rosemary

VINES



Hardenbergia violacea 'Happy Wanderer'

GROUNDCOVERS



Asparagus densiflorus 'Myers' / Foxtail asparagus



Dymondia margaretae / Dymondia



Juncus patens / California gray rush



Lantana montevidensis 'Alba' / White trailing lantana



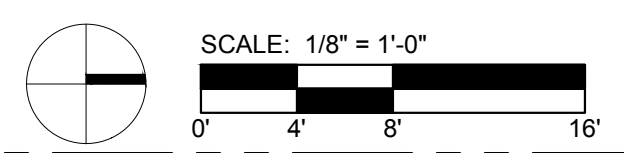
Rosmarinus prostrata / Trailing rosemary



COURTLAND STUDIO, LLC  
505 E Colorado Blvd. Mezz C  
Pasadena CA 91101  
P: 818-788-9382  
F: 818-788-3217  
Licensed Landscape Architect #3820



12650 RIVERSIDE DR. SUITE 100  
VALLEY VILLAGE, CA 91607  
TEL : (818) 387-8832  
E MAIL: BOAZ@KETTERDESIGNS.COM



PLANTER BOX SIZE SCHEDULE:

SYM.	DIMENSIONS	QTY
A	L 36" X W 36" X H 42"	9
B	L 72" X W 24" X H 42"	8
C	L 84" X W 24" X H 42"	8
D	L 96" X W 24" X H 42"	2
E	L 108" X W 24" X H 42"	1
F	L 60" X W 36" X H 42"	4
G	L 96" X W 36" X H 42"	7
H	L 108" X W 36" X H 42"	5

PLANTER BOX COLOR TO BE DETERMINED BY ARCHITECT.

TYPICAL PLANTER BOX COUPLING SCHEDULE

PLANTER TYPE	COUPLING QUANTITY	
	2"Ø PVC SCH.40 DRAIN OUTLET	1"Ø PVC SCH.40
A	9	36
B	8	32
C	8	32
D	2	8
E	1	4
F	4	16
G	7	28
H	5	20
TOTAL	44	176

PLANTERS AVAILABLE FROM:  
OLD TOWN FIBERGLASS  
456 SOUTH MONTGOMERY WAY  
ORANGE, CA 92868-4015  
TEL: 714-633-3732  
FAX: 714-633-3917  
EMAIL: INFO@OLDTOWNFIBERGLASS.COM  
ATTN: JOAN

ROOF PLANTER BOX COUPLING LAYOUT

SCALE: N.T.S.

REV. NO.	DATE	DESCRIPTION
1.0		
0.9		
0.8		
0.7		
0.6		
0.5		
0.4		
0.3		
0.2		
0.1		

REVISIONS

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NO.	DATE	ISSUED FOR
1	9/25/2019	SCHEMATIC

ROOF PLAN  
1/8" = 1'-0"

31 UNITS APARTMENT

836 WEST 42ND PLACE  
LOS ANGELES, CA. 90037

PROJECT CLIENT

18-063

PROJECT NO.  
SHEET NO.

L12

9/25/2019

LANDSCAPE  
**COURTLAND STUDIO**  
ARCHITECTURE

COURTLAND STUDIO, LLC  
505 E Colorado Blvd. Mezz C  
Pasadena CA 91101  
P: 818-788-9382  
F: 818-788-3217  
Licensed Landscape Architect #3920